



# BRAVE / ARCHITECTURE

4617 Montrose Blvd., Ste C230  
Houston, Texas 77006  
713.524.5858 v / 713.524.5868 f  
studio@bravearchitecture.com

B/A PROJ. #: 15137  
DATE: 2.23.2016  
ISSUE: PERMIT

DATE: 5.4.2016  
ISSUE: PERMIT COMMENTS

DATE: 7.6.2016  
ISSUE: PERMIT COMMENTS

## SUNSET COFFEE SHOP

1019 Commerce St. / Houston, Texas 77002



### PROJECT TEAM:

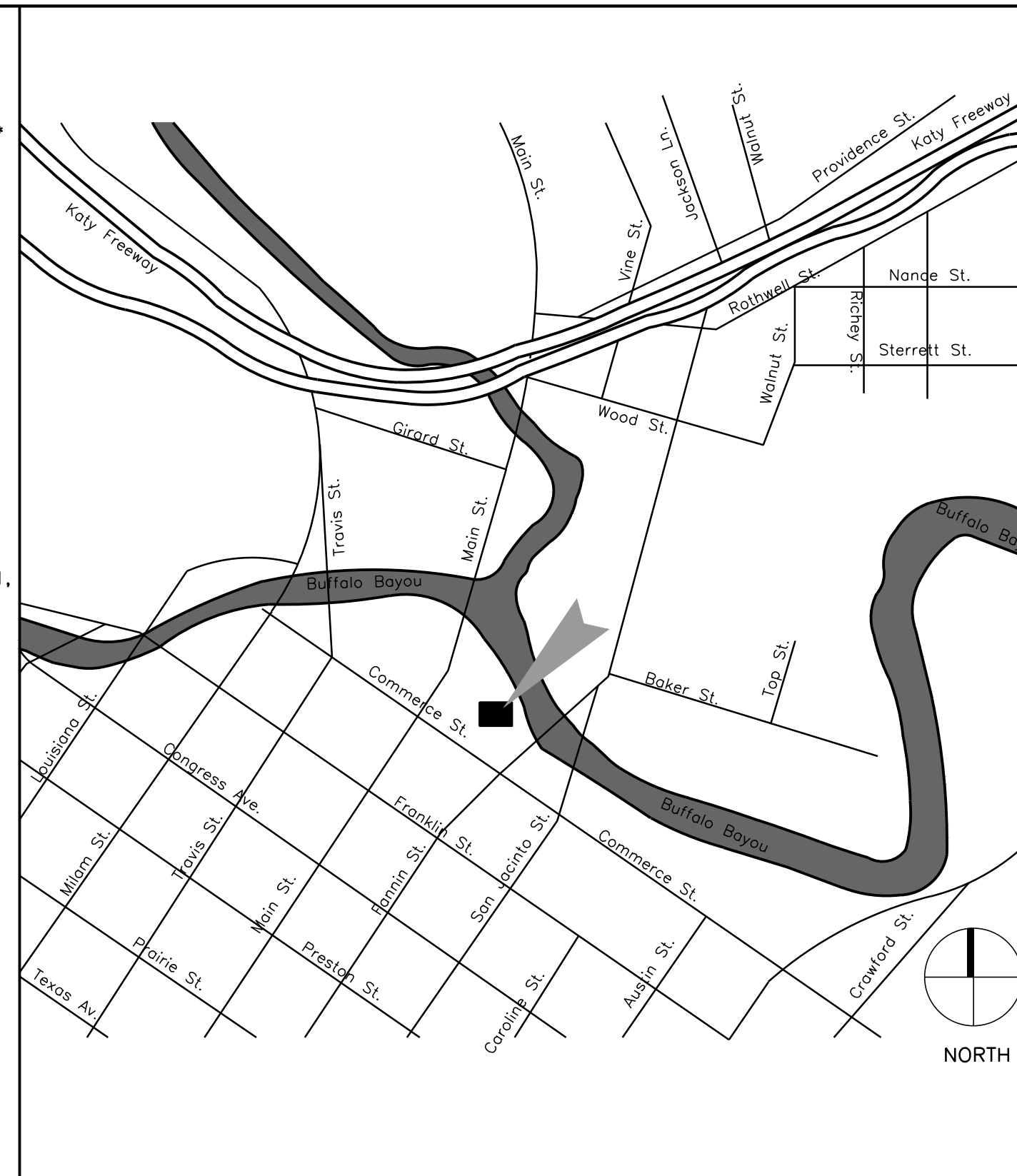
ARCHITECT \_\_\_\_\_ BRAVE / ARCHITECTURE

MEP \_\_\_\_\_ COLLABORATIVE ENGINEERING GROUP

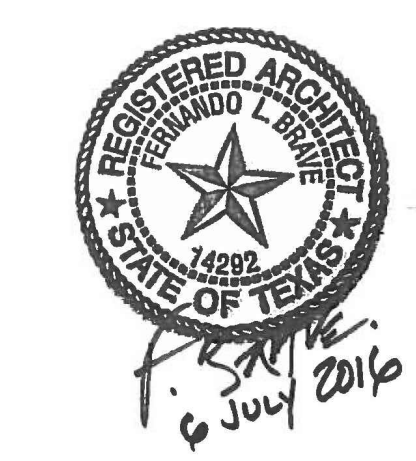
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**PROJECT NAME:** SUNSET COFFEE  
**PROJECT LOCATION:** 1019 COMMERCE STREET, HOUSTON, TX 77002  
**SCOPE OF WORK:** TENANT IMPROVEMENT INTERIOR RENOVATION FOR A COFFEE SHOP\*  
**GOVERNING AGENCIES:** CITY OF HOUSTON, HARRY COUNTY, HARRY COUNTY FLOOD CONTROL DISTRICT  
**GOVERNING CODE(S):** 2012 INTERNATIONAL BUILDING CODE W/ COH AMENDMENTS  
 2012 INTERNATIONAL FIRE CODE W/ COH AMENDMENTS  
 2012 UNIFORM MECHANICAL CODE W/ COH AMENDMENTS  
 2012 UNIFORM PLUMBING CODE W/ COH AMENDMENTS  
 2014 NATIONAL ELECTRICAL CODE W/ COH AMENDMENTS  
 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ COH AMENDMENTS  
 2012 TEXAS ACCESSIBILITY STANDARDS WITH LATEST AMENDMENTS  
**OCCUPANCY CLASSIFICATION:** A-2  
**CONSTRUCTION TYPE:** EXISTING TO REMAIN, TYPE IIA  
 SPRINKLERED  
**OCCUPANT LOAD:** ASSEMBLY WITHOUT FIXED SEATS  
 UNCONCENTRATED (INCLUDES CAFE/RETAIL RM 102, BAR RM 102.1, AND TERRACE RM 102.3)  
 2790 SF/15 NET = 186 OCC.  
 KITCHEN, COMMERCIAL (CATERING RM 110)  
 200 SF/200 GROSS = 1 OCC.  
**PLUMBING FIXTURE REQUIREMENTS: A-2 (ALL PLUMBING FIXTURES EXISTING TO REMAIN)**  
 WATER CLOSETS: 187 OCC./2 = 94/1 PER 45 = 1.25 MALE AND 1.25 FEMALE = 4  
 EXISTING ON CAFE LEVEL = OK  
 LAVATORIES: 187 OCC./2 = 94/1 PER 200 = .47 MALE AND .47 FEMALE = 4  
 EXISTING ON CAFE LEVEL = OK  
 SHOWERS: NONE REQUIRED  
 DRINKING FOUNTAIN: 1 PER 500 = 0.37 - 2 EXISTING ON CAFE LEVEL = OK  
 SERVICE SINK: 1 SERVICE SINK EXISTING  
 \* EXISTING GREASE TRAP TO REMAIN  
**PARKING REQUIREMENTS:** EXISTING METERED PARKING TO REMAIN  
 PROPOSED BUSINESS TYPE: CAFE  
 \* SCOPE INCLUDES INTERIOR DEMOLITION OF SOME PARTITIONS, RELOCATION OF EXISTING DOOR. NEW CONSTRUCTION INCLUDES NEW FINISHES, PARTITIONS, NEW DOOR, MILLWORK, AND MEP CONNECTIONS FOR COFFEE EQUIPMENT. EXISTING SHELL STRUCTURE, DEMISING WALLS, AND STOREFRONT TO REMAIN.



**BRAVE / ARCHITECTURE**  
 4617 Montrose Blvd., Suite C.230  
 Houston, Texas 77006  
 Voice: 713.524.5858  
 Fax: 713.524.5868  
 studio@bravearchitecture.com  
 Contact: Silvana Micolich  
 smicolich@bravearchitecture.com



Consultants:

MEP:

Collaborative Engineering Group  
 8904 Fairbanks N. Houston Suite 201  
 Houston, TX 77064  
 T: 281.598.1170  
 F: 281.598.1130

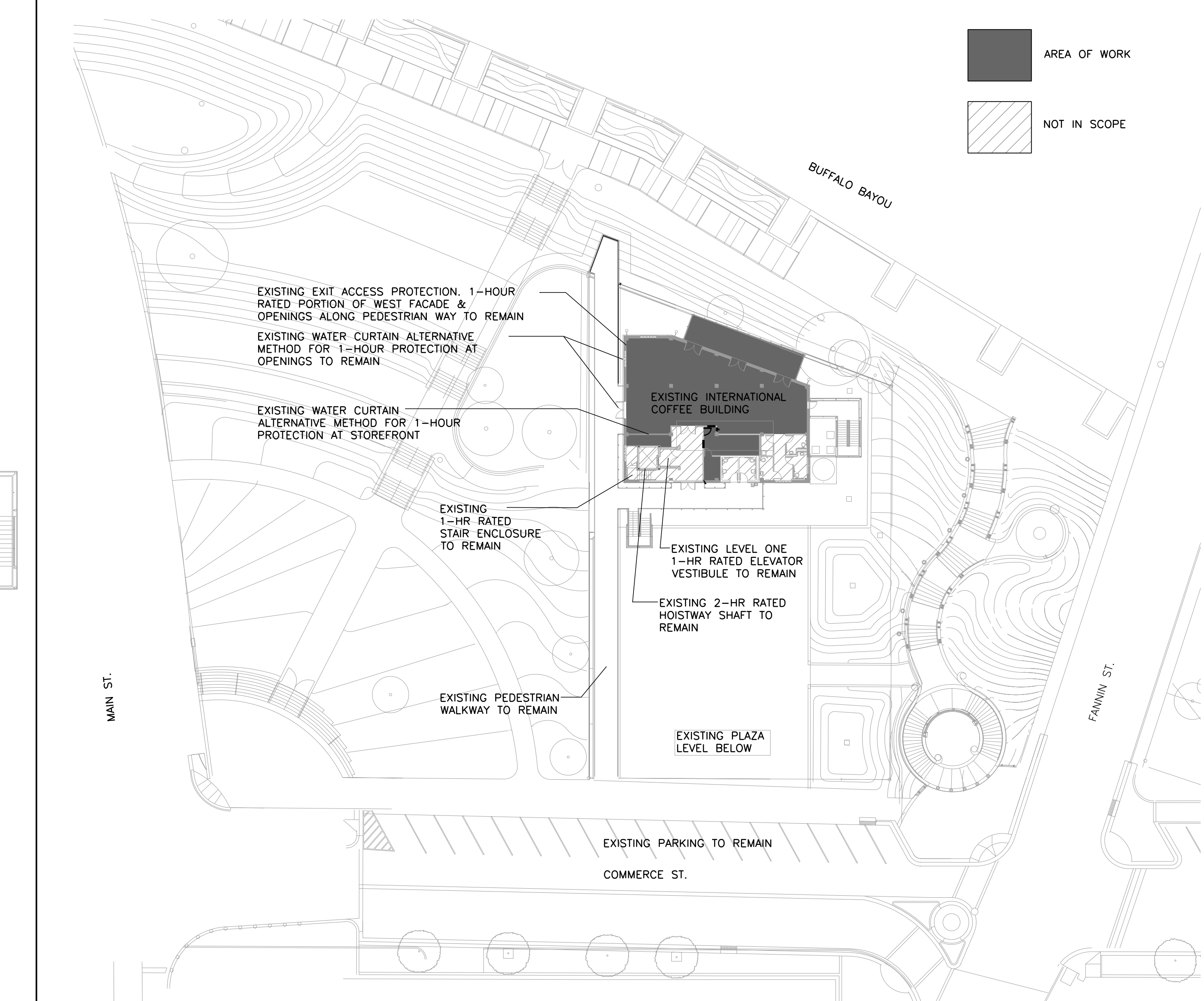
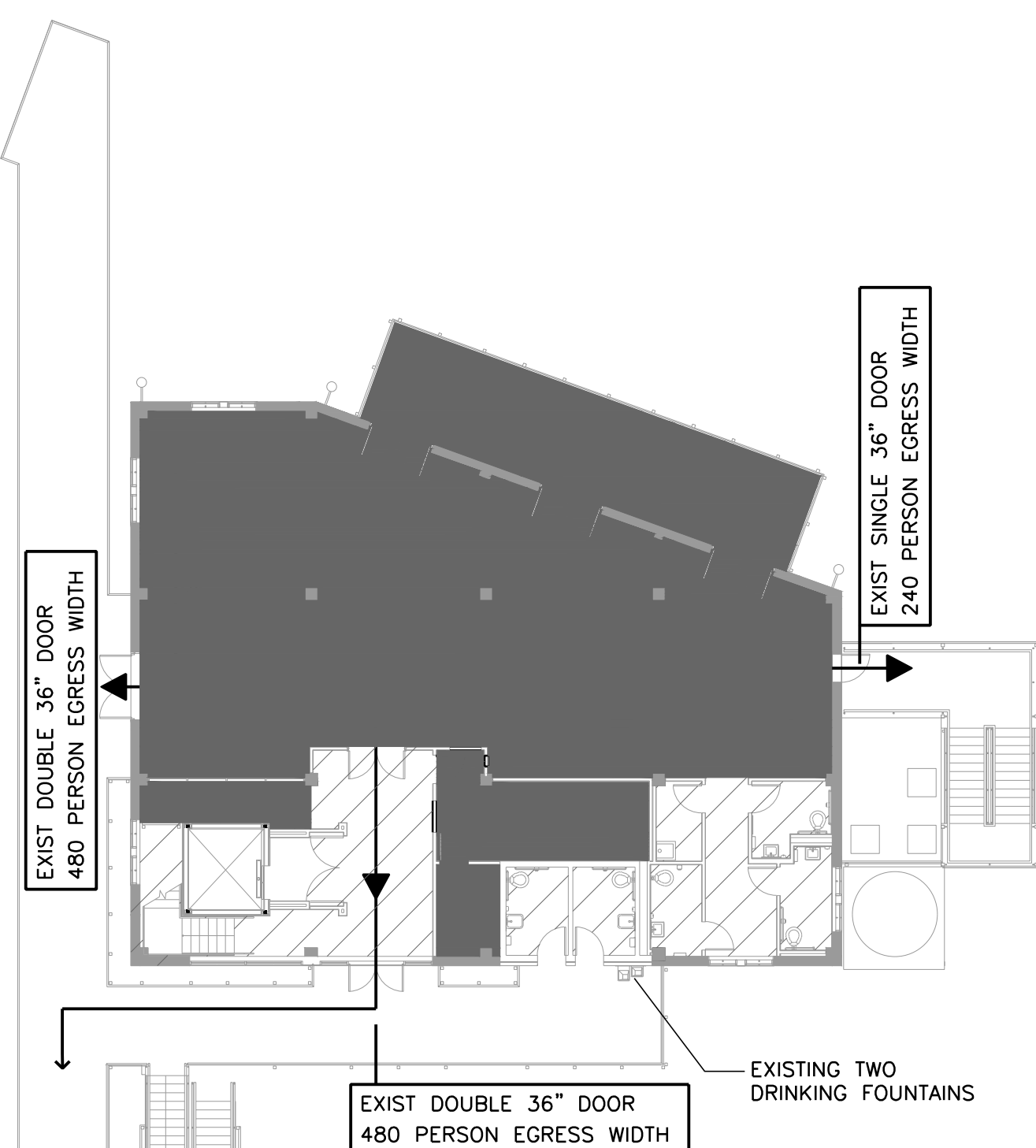
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- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE MAJOR DIMENSIONS, AND THE MAJOR ARCHITECTURAL, STRUCTURAL, MECHANICAL & PLUMBING ELEMENTS.
- AS SCOPE DOCUMENTS THEY DO NOT NECESSARILY INDICATE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE JOB. ON THE BASIS OF THE GENERAL WORK INDICATED, ALL CONTRACTORS (AND SUBCONTRACTORS) SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.
- ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER & ARCHITECT AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- CONTRACTOR WILL BE HELD TO HAVE STUDIED THE DRAWINGS, TO HAVE VISITED THE SITE, AND TO HAVE SATISFIED HIMSELF REGARDING ALL EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE. CONTRACTOR SHALL IMMEDIATELY REPORT ANY ERROR, INCONSISTENCY OR OMISSION TO THE ARCHITECT.
- CONTRACTOR IS TO PROVIDE AND INSTALL ALL NECESSARY PROTECTIVE DEVICES REQUIRED TO PROTECT ANY OWNER'S FURNISHED EQUIPMENT INSTALLED PRIOR TO THE COMPLETION OF THE WORK.
- CONTRACTOR SHALL COORDINATE ALL DELIVERIES AND ACCESSIBILITY TO THE BUILDING FOR ALL ITEMS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK PRIOR TO THE START OF SITE WORK. ALL DAMAGES MADE TO THE EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, FIXTURES, AND SERVICE NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN ON THE PLANS.
- ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK SHALL BE NEW AND ALL WORK BE OF GOOD QUALITY, FREE FROM FAULTS, AND IN CONFORMANCE WITH THE PLANS.
- CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL PERFORM A FINAL CLEAN-UP, INSIDE AND OUT, CLEAN ALL GLASS SURFACES AND LEAVE THE PROJECT AREA CLEAN.
- CONTRACTOR SHALL GUARANTEE FOR 1 (ONE) YEAR THAT ALL OF THE WORK UNDER THE CONTRACT IS FREE FROM FAULTY MATERIALS, WATER-TIGHT AND LEAK-PROOF IN EVERY PARTICULAR AND FREE FROM IMPROPER WORKMANSHIP.
- CONTRACTOR SHALL SUPERVISE THE WORK AND COORDINATE ALL PORTIONS THEREOF.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING AND NEW WORK. ANY WORK DAMAGE FOR ANY REASON SHALL BE REPLACED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL NOT SCALE DRAWINGS - LARGER DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER REFERENCED DRAWINGS AND DETAILS.
- THESE DRAWINGS AND COPIES THEREOF ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED IN CONNECTION WITH ANY OTHER PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ARCHITECT. ANY SUBMISSION, DUPLICATION OR DISTRIBUTION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT MAY BE CONSIDERED AS DEROGATION OF THE ARCHITECT'S COPYRIGHT OR OTHER RESERVED RIGHTS.



**GENERAL INFORMATION**

**10 EGRESS PLAN**

1/16" = 1'-0"

**7 SITE PLAN**

1/32" = 1'-0"

1

**G.000.1**



Consultants:

MEP:  
Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

SUNSET COFFEE

1019 Commerce St.  
Houston, TX 77002

Ownership of Instruments of Service:  
All reports, plans, specifications, computer files, field data, notes & other documents and instruments prepared by BRAVE / ARCHITECTURE as instruments of service shall remain the property of BRAVE / ARCHITECTURE. BRAVE / ARCHITECTURE shall retain all common law, statutory and other reserved rights, including the copyright thereto.

Issue:

2016.2.17 OWNER FINAL REVIEW  
2016.2.23 PERMIT

B/A Project No.: 15137  
Drawn By: MM  
Checked By: SM  
Date:  
Scale: AS NOTED

GENERAL INFORMATION

Table of abbreviations for architectural drawings, including terms like ANCHOR BOLT, ACUSTICAL, ADA, ADA ADJUST., ADA ADJUST., AFF, AGG, AHU, ALT, ALLUM, ANOD, APPROX, AP, A-R, ARCH, A/S, ASPH, ATN, AUTO, AUX, AVE, AVG, A/C, AV, BD, BLDG, BLKG, BLK, BM, BOT, BRG, BRKT, BSMT, BTW, BUR, B&B, B-B, B.M., B/F, CAB, CB, CCTV, CEM, CIP, CFMF, CIP, CI PIPE, CKBD, CKG, CLR, CMU, CNTR, COL, COMPRES, CONCP, CONC, COND, CONF, CONST, CONTR, CONT, CORR, CORR, CSMT, CTR, CTSK, CT, CU FT, CU YD, C, C-C, C.O., DB, DBL, DEFL, DF, DIAG, DIA, DIM, DISC, DISP, DL, DMPFG, DN, DR, DS, DTL, DWC, DWG, D, EA, EFOB, EIFS, EJ, ELAS, ELEC, ELEV, EL, EMER, EP, EQUIP, EQ, ESR, EWC, EWH, EW, EWSH, EXH, EXIST, EXPAN, EXP, EXT, FA, FC, FD, FEC, FHC, FH, FIN, FIXT, FLRG, FLR, FLRSH, FLUOR, FL, FM, FR, FRPF, FS, FTG, FT, FURN, FURR, F.V., FVC, GALV, GAL, GA, GC, GD, GEN, GI, GL, GMMU, GRC, GR, GYP, HB, HC, HDCP, HDWD, HDWR, HD, HFS, HM, HORIZ, HORSE, HR, HT, HYAC, HYD, IBC, ID, INCAND, INCL, INFO, INSUL, INT, IN, IPS, JAN, JST, JT, LAM, LAV, LGTH, LH, LIN, LCKR, LI, LT, LWT, MACH, MAINT, MAS, MATL, MAX, MB, MECH, MEMB, MEP, MFR, MH, MIN, MISC, ML, MO, MR, MTD, MTG, MTL, MULL, NIC, NOM, NO, OR #, NRC, NTS, OA, OC, OD, OFCI, OFF, OFOI, OH, OPH, OPNG, OPP, ORD, O/A, PART, PCF, PDP, PERF, PLAM, PLAS, PLBG, PLWD, PNL, POL, PRKS, PR, PSF, PSI, PTD, PVC, PVP, PVM, P.L, P/C, R, R/AG, R/A, R/A, RCP, RD, REBAR, RECEPT, RECEP, RECOM, REC, REG, REINF, REQD, RES, RET, REV, RE: RFG, RH, RI, RM, ROW, R.T.U., SCHED, SC, SECT, SECT, SF, SHLV, SHTHG, SHT, SHWR, SPEC, SQ, SS, STAB, STA, STC, STD, STL, STG, STR, SUSP, SW, SYM, SYN, S/AD, TA, T.A.S, T.B, TOCC, T.O, T.O.C, TEL, TEMP, THK, THRES, TB, TLT, TRZO, TR, TTC, TV, TYP, T, UL, UNO, UR, VAC, VCT, VERT, VEST, VWC, WC, WDW, WD, WF, WH, WI, WP, WR, WT, WWF, WP, WI, W/O, W/P, W/I, XFMR, FIRE ALARM, FIRE CODE, FLOOR DRAIN, FIRE EXTINGUISHER CABINET, FIRE HOSE CABINET, FIRE HYDRANT, FINISH (ED), FIXTURE, FLOORING, FLOOR, FLASHING, FLUORESCENT, FLOW LINE, FACTORY MUTUAL, FIRE RETARDANT, FIREPROOF, FULL SIZE, FOOTING, FOOT (FEET), FURNISH, FURRED (ING), F.V., FIRE VALVE CABINET, GALVANIZED, GALLON, GAGE, GENERAL CONTRACTOR, GRADE GRADING, GENERAL, GALVANIZED IRON, GLASS, GLAZING, GLASS MESH MORTAR UNIT, GUARANTEED MAXIMUM PRICE, GROUND, GYPSUM, HOSE BIBB, HOLLOW CORE, HANDICAPPED, HARDWOOD, HARDWARE, HEAD, HALF FULL SIZE, HOLLOW METAL, HORIZONTAL, HORSEPOWER, HOUR, HEIGHT, HEATING, VENTILATION, AIR CONDITIONING, CONTROL JOINT, CHALKBOARD, CEILING, CLEAR (ANCE), CLOSE, CONCRETE MASONRY UNIT, COUNTER, COLUMN, COMPRESSIBLE, CONTROL JOINT, CONCRETE, CONDITION, CONFERENCE, CONSTRUCTION, CONTRACTOR, CONTINUOUS, CORRUGATED, CORRIDOR, CASEMENT, CENTER, COUNTERSUNK, CERAMIC TILE, CUBIC FOOT (FEET), CUBIC YARD, CURB, CENTER TO CENTER, CASED OPENING, DRY MARKER BOARD, DOUBLE, DEFLECTION, DRINKING FOUNTAIN, DIAGONAL, DIAMETER, DIMENSION, DISCONNECT, DISPENSER, DEAD LOAD, DAMPROOFING, DOWN, DOOR, DOWNSPOUT, DETAIL, DRYWALL FURRING CHANNEL, DRAWING, DEPTH, EACH, EXTERIOR FACE OF BUILDING, EXTERIOR INSULATED FINISH SYSTEM, EXPANSION JOINT, ELASTIC (ELASTOMERIC), ELECTRICAL, ELEVATOR, ELEVATION, EMERGENCY, EXPLOSION PROOF, EQUIPMENT, EQUAL, ELASTIC SHEET ROOFING, ELECTRIC WATER COOLER, ELECTRIC WATER HEATER, EACH WAY, EYE WASH, EXHAUST, EXISTING, EXPANSION, EXPOSED, EXTERIOR, NOT IN CONTRACT, NOMINAL, NUMBER, NOISE REDUCTION COEFFICIENT, NOT TO SCALE, OVERALL, ON CENTER (S), OUTSIDE DIAMETER, OWNER FURNISHED / CONTRACTOR INSTALL, OFFICE, OWNER FURNISHED / OWNER INSTALLED, OVERHEAD, OPPOSITE HAND, OPENING, OPPOSITE, OVERFLOW ROOF DRAIN, OUTSIDE AIR, PARTITION, POUNDS PER CUBIC FOOT, POP AND CEMENT PLASTER, PERFORATED, PLASTIC LAMINATE, PLASTER, PLASTIC, PLUMBING, PLYWOOD, PANEL, POLISHED, PARKING, PAIR, POUNDS PER SQUARE FOOT, POUNDS PER SQUARE INCH, PAINTED, POLYVINYL CHLORIDE, PAVING, PAVEMENT, PROPERTY LINE, PRECAST, QUARRY TILE, RADIUS, RETURN AIR GRILLE, RETURN AIR, REFLECTED CEILING PLAN, ROOF DRAIN, REINFORCING BAR, RECEPTION, RECEPTACLE, RECOMMENDATION, RECEIVED, REGULATION, REINFORCED, REQUIRED, RESILIENT, RETURN, REVISION, REFER TO ROOFING, RIGHT HAND RISER, ROOM, RIGHT OF WAY, ROOF TOP UNIT, SCHEDULE, SCHEDULE, SOLID CORE SECTION, SQUARE FEET, SHELVS(ING), SHEATHING, SHEET, SHOWER(S), SPECIFICATION, SQUARE, STAINLESS STEEL, STABILIZE (D), STATION, SOUND TRANSMISSION COEFFICIENT, STANDARD, STEEL, STORAGE, STRUCTURE (AL), SUSPENDED, SWITCH, SYMMETRICAL, SYNTHETIC, SUPPLY AIR DIFFUSER, TOILET ACCESSORY, TEXAS ACCESSIBILITY STANDARDS, TACK BOARD, TEXTURED COATING ON CONCRETE, TOP OF CURB, TELEPHONE, TEMPERED, THICK (NESS), THRESHOLD, TACKBOARD, TOILET (S), TERRAZZO, TREAD, TELEPHONE TERMINAL CABINET, TELEVISION, TYPICAL, TOP, UNDERWRITERS LABORATORY, UNLESS NOTED OTHERWISE, URINAL, VACUUM, VINYL COMPOSITION TILE, VERTICAL, VESTIBULE, VINYL WALL COVERING, WATER CLOSET, WINDOW, WOOD, WIDE FLANGE, WALL HUNG, WROUGHT IRON, WATERPROOF (ING), WATER RESISTANT, WEIGHT, WELDED WIRE FABRIC, WORK POINT, WITHIN, WITHOUT, WORK POINT, WITHIN, TRANSFORMER

Table of material conventions including symbols and descriptions for LOOSE EARTH FILL (SECTION), COMPACTED EARTH FILL (SECTION), ROCK FILL (SECTION), COMMON BRICK (PLAN AND SECTION), SPECIALTY BRICK (PLAN AND SECTION), TYPICAL CMU (PLAN AND SECTION), SPECIALTY CMU (PLAN AND SECTION), CAST-IN-PLACE CONCRETE (SECTION), TYPICAL STONE (SECTION), MARBLE (PLAN AND SECTION), TERRAZZO (SECTION), CERAMIC TILE (SECTION), STEEL (PLAN AND SECTION), PLASTIC LAMINATE (SECTION), SOLID SURFACING (SECTION), CEMENT BOARD (SECTION), GYPSUM BOARD (SECTION), PLASTER (PLAN AND SECTION), PLYWOOD (SECTION), FINISHED WOOD (PLAN, ELEV, AND SECTION), BATT INSULATION (SECTION), BATT INSULATION (SECTION), ACOUSTICAL TILE (SECTION), GLAZING (PLAN AND SECTION), WOOD FRAMING - INTERRUPTED (BLOCKING, SHIM, ETC.), WOOD FRAMING - CONTINUOUS (SECTION)

Table of drawing symbols including symbols and descriptions for NORTH SYMBOL, WORKING POINT: START WORK AT THIS LOCATION, EXISTING GRADE ELEVATION, NEW GRADE / SLAB ELEVATION, BOUNDARY OF WORK AREA, DRAWING MATCHLINE, REVISION NUMBER, REVISION CLOUD, DIMENSIONS, BRACKETS, DOTS, EXISTING PARTITION REMAINS, REMOVE PARTITION, NEW PARTITION, EXISTING DOOR REMAINS, REMOVE DOOR, PROVIDE DOOR, EXISTING COLUMN LINE, NEW COLUMN LINE, FLOOR LINE (ELEVATION), ROOM DESIGNATION, DOOR DESIGNATION, WINDOW DESIGNATION, KEY NOTE DESIGNATION, PARTITION TYPE DESIGNATION, SIGNAGE DESIGNATION, FINISH MATERIAL DESIGNATION, ACCESSORY/EQUIPMENT DESIGNATION, CASEWORK DESIGNATION, PICTURE LOCATION DESIGNATION, INTERIOR ELEVATION DESIGNATION, DETAIL AND VERTICAL SECTIONS, BUILDING / WALL SECTION, ENLARGED DETAIL





4617 Montrose Blvd., Suite C.230  
Houston, Texas 77006  
Voice: 713.524.5858  
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studio@bravearchitecture.com  
Contact: Silvana Micolich  
smicolich@bravearchitecture.com



Consultants:

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Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
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## SUNSET COFFEE

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B/A Project No.: 15137  
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Checked By: SM  
Date:  
Scale: AS NOTED

*SPECIFICATIONS*

**G.000.6**

Protect installed work from damage until final acceptance by the owner/tenant.

### TILING:

A. Porcelain tile, ceramic mosaic tile, paver tile, glazed wall tile.

### B. Materials

1. Manufacturers: tile

Refer to manufacturers and contact information provided in drawings.

2. Manufacturers: tile—setting and — grouting materials

- American Olean Tile Company.
- Dal—Tile corporation.
- DAP, Inc.
- Laticrete International, Inc.
- Southern Grouts & Mortars, Inc.

C. ANSI ceramic tile standard: standard grade requirements of ANSI A137.1.

D. Colors, textures, and patterns: for tile, grout, and other products as selected by architect and in finish schedule.

E. Unglazed ceramic mosaic tile: modular, factory—mounted flat tile.

F. Glazed ceramic mosaic tile: modular, factory—mounted flat tile.

G. Unglazed quarry tile: square—edged flat tile.

H. Unglazed paver tile: flat tile:

- latex—portland cement mortared and grouted paver tile, precoated with temporary protective coating.

I. Glazed paver tile: flat tile:

J. Glazed wall tile: flat tile modular size, cushion edge.

1. mounting: pregrouted sheets of tiles factory assembled and grouted with manufacturer's standard silicone rubber complying with ANSI A118.6.

K. Trim units to match adjoining tile, thresholds to match tile, but not more than 1/2 inch above adjoining finished floor, beveled edge.

L. Waterproofing for thin—set tile installations: ANSI A118.10.

### M. Setting Materials:

- Portland Cement mortar installation materials: ANSI A108.1A A. latex additive (water emulsion) for use with job—mixed portland cement and aggregate mortar bed.
- Dry—set portland cement mortar: ANSI A118.1.
- latex—portland cement mortar: ANSI A118.4.
- Water—cleanable, tile—setting epoxy adhesive: ANSI A118.3.

### N. Grouting materials. As follows:

- Sand—portland cement grout: ANSI A108.10, composed of white or gray cement and white or colored aggregate, or
- Latex—portland cement grout: ANSI A118.6 for materials described in section h—2.4.
- Product capable of resisting continuous and intermittent exposure to temperatures of up to 140 degrees F and 212 degrees F, respectively, as certified by mortar manufacturer for intended use.

### O. Elastomeric sealants:

- One—part, mildew—resistant silicone sealant: ASTM C 920; type S; grade ns; class 25; uses NT, G, A, and, O; formulated with fungicide.

P. Cementitious backer units: per ANSI A118.9, of thickness and width required, and in maximum lengths to avoid end—to—end butt joints.

### Q. Miscellaneous materials. As follows:

- Trowelable underlayment and patching compounds: latex—modified, portland—cement based for installations as required.
- Metal edge strips: white—zinc—alloy terrazzo strips, 1/8 inch wide at top edge with integral provision for anchorage to mortar bed or substrate.

### R. Execution

1. Provide concrete substrates for tile floors installed with dry—set or latex—portland cement mortars that comply with flatness tolerances specified in referenced ANSI A108.

- Use trowelable leveling and patching compounds per tile—setting material manufacturer's written instructions to fill cracks, holes, and depressions.
- Remove protrusions, bumps, and ridges by sanding or grinding.

2. Blending: for tile exhibiting color variations within the ranges, verify that tile has been blended in the factory and packaged so tile units taken from one package show the same range in colors as those taken from other packages and match approved samples.

- Comply with parts of ANSI A108 series of tile installation standards that apply to types of setting and grouting materials and to methods indicated.
- TCA Installation guidelines: comply with TCA installation methods.

c. Extend tile work into recesses and under or behind equipment and fixtures to form a complete covering without interruptions, unless otherwise indicated. Terminate work neatly at obstructions, edges, and corners without disrupting pattern or joint alignments.

d. Accurately form intersections and returns. Perform cutting and drilling of tile without marring visible surfaces. Carefully grind cut edges of tile abutting trim, finish, or built—in items for straight aligned joints. fit tile closely to electrical outlets, piping, fixtures, and other penetrations so plates, collars, or covers overlap tile.

e. Jointing pattern: Refer to elevations. Lay tile in grid pattern, unless otherwise indicated, align joints where adjoining tiles on floor, base, walls, and trim are the same size. provide uniform joint widths, unless otherwise indicated.

f. expansion joints: locate expansion joints and other sealant—filled joints.

g. install waterproofing to produce a waterproof membrane of uniform thickness bonded securely to substrate.

h. floor tile installation: install tile to comply with referencing TCA installation methods and ANSI A108 series of tile installation standards.

i. Wall tile installation: per referenced TCA installation methods and ANSI setting—bed standards.

- joint widths: install tile on walls with uniform 1/16 inch joint widths.

### RESILIENT BASE:

A. Material: vinyl base, 0.125 inch gauge by high as scheduled. style shall be coved.

B. Colors: as scheduled.

C. Adhesive: as recommended by the resilient base manufacturer.

D. Install base in as long lengths as practicable. Tightly bond base to backing throughout the length of each piece with continuous contact of horizontal and vertical surfaces. Remove excess adhesive or other surface blemishes from tile and base, using neutral type cleaners as recommended by the manufacturer.

### PAINTING:

A. Painting and finishing colors: as scheduled, where not scheduled, provide colors as selected by the architect. Colors shall not be limited to manufacturer's standard colors.

B. All paints, varnishes, stains, paste fillers, thinners, colors and similar materials shall be delivered in original containers with seals unbroken and labels intact.

C. Paints, enamels and stains: provide the best quality grade products of following manufacturer: provide samples to owner.

1. Benjamin Moore

2. Interpon

D. All materials, such as thinners, dryers etc. shall be of same brand as that of painting materials or of brand recommended by the manufacturer of the brand of painting materials.

E. All materials shall be used as delivered, from the cans, without thinning or adulteration, whenever possible to do so.

F. All primers and undercoats shall be tinted slightly lighter than shade of finish coat

### G. Interior painting:

1. Ferrous metal surfaces (including existing exposed structure):

- One (1) coat Benjamin Moore retard rust inhibitive primer
- Two (2) coats of final finish.

2. Existing metal surfaces:

- one (1) coat Benjamin Moore speedy primer sealer.
- Spot prime damaged areas of existing surfaces with Benjamin Moore retard rust inhibitive primer.
- Interior of ducts connection to exhaust or return of grilles, registers, or diffusers shall be given two (2) coats of Benjamin Moore galvanized metal primer.

3. Wood (painted): one (1) coat Benjamin Moore "alkyd enamel underbody primer", and two (2) coats of final finish.

4. System at locations scheduled.

5. Eggshell finish: one (1) coat Benjamin Moore "latex underbody primer", and two (2) coats of final finish.

6. Semi—gloss finish: one (1) coat Benjamin Moore "latex underbody primer", and two (2) coats of final semi—gloss finish.

7. Interior doors and frames to receive one (1) coat Benjamin Moore "latex underbody primer" and two (2) coats of final semi—gloss finish.

8. Existing painted walls and ceilings: spot prime repaired areas, and apply finish systems of the types and number of coats specified for drywall surfaces.

H. Condition of surfaces: remove all loose dirt, oil, grease, rust, dust paint and other foreign material before beginning painting and finishing. Remove hardware, hardware accessories, machine surface, plates, lighting fixtures and similar items in place and not to be painted, or provide surface protection prior to surface preparation and painting operations. Following completion of painting of each space or area, reinstall removed items. Repair defects to new and existing surfaces to avoid finish failures or the reoccurrence of previous failures. Cut out scratches, cracks and abrasions in new and existing surfaces, fill with approved material, bring flush with adjoining surface and finish to match adjacent surface texture. patched areas shall not be visible in the finished work. Seal before application of prime coat.

I. Existing painted surfaces: remove all loose and scaling paint. Make certain all paint remaining is adhered well to the surface. Remove all grease oil, and other surface contaminants which would affect adhesion of new paint finish. Sand surfaces for proper paint adhesion, and to remove glossy areas in the existing paint finish. Sand rough edges of bare areas to feather edge at adjacent sound point. Painting and finishing of patched or damaged surfaces occurring outside the contract limit area, shall be contained to the nearest change in plane or interruption of surface.

J. Materials preparation: mix and prepare painting materials in accordance with manufacturer's directions. stir materials before and during application to produce a mixture of uniform density do not stir surface film into material.

### K. Application:

9. General: apply paint in accordance with manufacturer's directions. use applications and techniques best suited for substrate and type of material being applied. apply additional coats when undercoats, stains or other conditions show through final coat of paint, until paint film is a uniform finish, color and appearance. paint surfaces behind movable equipment and furniture same as similar exposed surface. sand lightly between each succeeding enamel coat. allow sufficient time between successive coatings to permit proper drying. recoat primed and sealed surfaces where there is evidence of suction spots or surface defects due to insufficient priming or sealing.

10. Completed work: match approved samples for color, texture and coverage. cloudiness, spotting, holidays, laps, brush marks, runs, sags, ropiness or other surface imperfections will not be acceptable. remove, refinish, and/or repair work not in compliance with specified requirements.

11. Cleanup and protection: during progress of work, remove from site discarded paint materials, rubbish cans, and rags at end of each work day. upon completion of painting work, clean window glass and other paint—spattered surfaces, protect work of other trades, whether to be painted or not, against damage by painting and finishing work. Correct any damage as acceptable to owner. provide "wet paint" signs as required to protect newly—painted finishes. at completion of work of other trades, touch—up and restore all damaged or unsealed areas in first coat, to assure a finish coat with no burn—through or other defaced painted surfaces.

### DIVISION 15—MECHANICAL

A. See engineering drawings for specifications.

### DIVISION 16—ELECTRICAL

A. See architectural and engineering drawings for specifications.

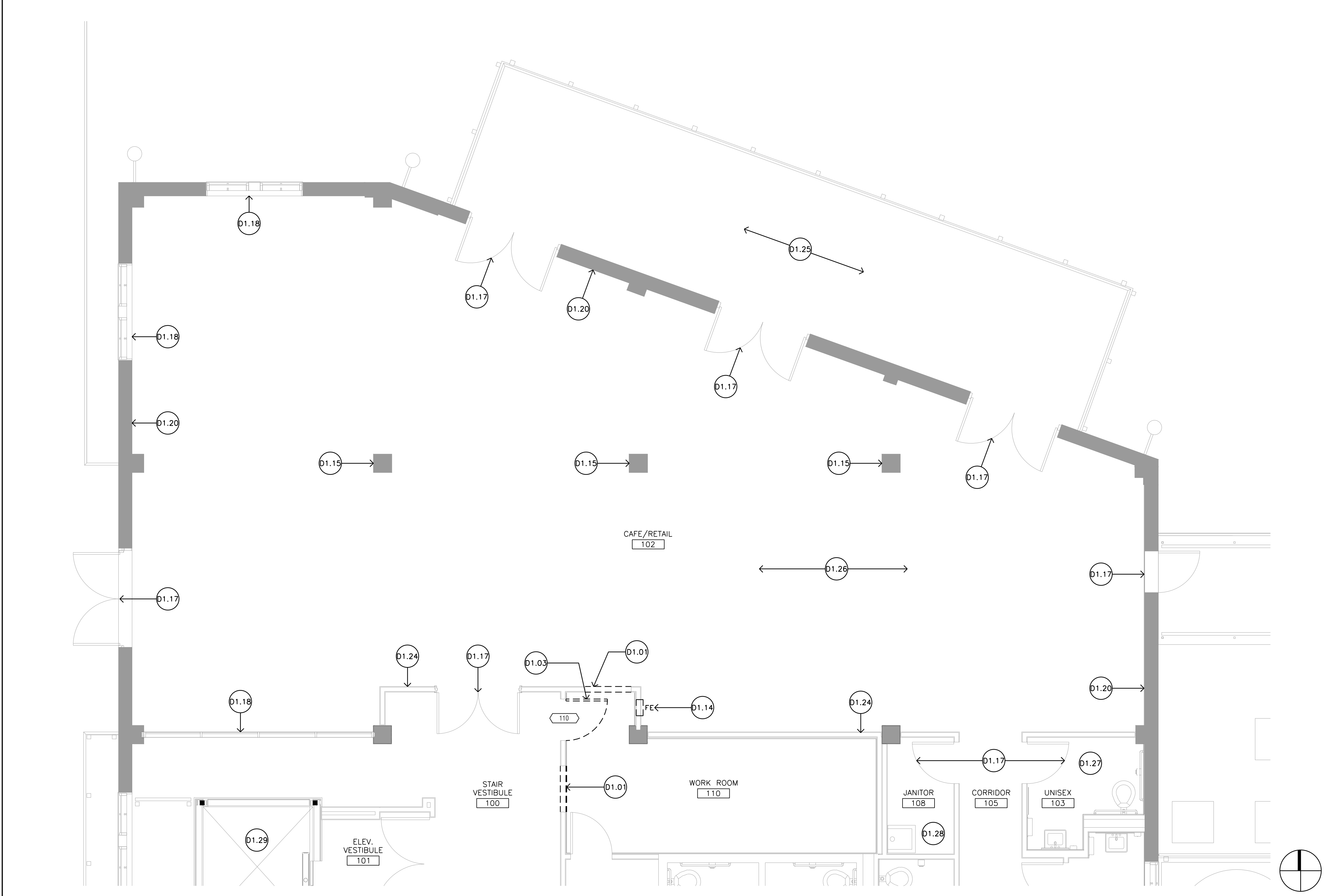
D1.01	Remove existing partition/wall. Remove existing finish construction back to existing base building structure. Clean and prepare to receive new construction. Contractor to maintain structural integrity of building.
D1.03	Remove and relocate door, hardware and frame where indicated
D1.05	Existion exit sign to remain.
D1.12	Remove light fixtures
D1.13	Not Used
D1.14	Remove and relocate fire extinguisher
D1.15	Existing column to remain. All existing structure to remain.
D1.16	Existing storefront to remain.
D1.17	Existing door and hardware to remain
D1.18	Existing window to remain.
D1.20	Existing exterior wall to remain.
D1.25	Existing balcony and railing to remain.
D1.26	Existing concrete slab to remain.
D1.27	Existing restrooms to remain.
D1.28	Existing janitor room to remain.
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D1.31	Existing light fixture to remain.
D1.32	Existing stairs to remain.
1.03	Scheduled door
1.04	Scheduled partition
1.05	Custom Millwork, Re: Millwork
1.17	Scheduled light fixture: Re: Electrical
1.23	Fire extinguisher
1.32	Custom glass display, Re: Millwork
1.33	Custom rope "screen". Rope by owner, installed by GC. Re: Millwork
1.34	Fixed panel with in-counter adjustable cup dispensers. Dispense-Rite ADJ-2

1.35	Furniture - OFOI
1.36	Custom Wall Shelf, Re: Millwork
1.40	S.S. sink, Re: MEP
1.45	S.S. Hand sink, Re: MEP
1.48	Existing Structure
1.49	3-Compartment Sink: Elkay #WNSF-8345, 15"W x 24"L x 14"D Faucet: (2) Chicago faucet #445-L9RABXKCP Lead free adjustable deck mounted faucets; Faucets to reach all sinks. Shelving system.
1.50	Steel bracket
1.51	Cup dispenser, Dispense Rite ADJ-2 (typ.) S.S.
1.52	Knock Chute, S.S. 6" x 5.5" x 4" Espresso Supply Inc.
1.53	6" S.S. grommet
1.54	2x6 Wood slot ceiling @ 10'-0" A.F.F.
2.01	Gyp. board ceiling @ 8'-6" A.F.F.
2.02	Salvaged rope installation
2.03	Slot wood ceiling hung with Unistrut @ 48" O.C. max.
2.04	Stained wood shelves with black steel brackets
2.05	Stained wood shelves with internal steel support

GD1.	Visit the site to become familiar with the scope of work and to field verify existing conditions prior to bidding this project. Report any and all discrepancies or ambiguous items to the architect prior to bidding for clarification.
GD2.	Note that there are demolition notes on the Civil and MEP plans, as well. Provide all other demolition work required by construction sequencing and means and methods to install the new and remodeled work shown, whether such related and necessary demolition work is specifically noted on these drawings or not.
GD3.	Coordinate demolition work with floor plans. Refer to sections and details for frame types and details at new openings in existing walls.
GD4.	Refer to Civil and MEP drawings for additional demolition and alteration notes.
GD5.	Prior to start of demolition, secure from the owner a list of additional existing building components to be salvaged such that salvaged components are delivered to the owner in their existing condition.
GD6.	The Owner has first rights of salvage of all fixtures, equipment and building materials removed as part of the demolition and not reused in the new construction. Remove all other debris and waste from the site and dispose of properly, in accordance with any applicable federal, state and local regulations.
GD7.	Refer to Index Sheet G.001 and G.002 for typical graphic symbols and abbreviation index.
GD8.	Refer to demolition photographs for additional information and guidelines. Photographs are for reference ONLY unless otherwise noted. All photographs are included for Contractor's reference ONLY unless noted otherwise. The photographs are to be used in conjunction with all drawings, both plan and elevations. Information presented on all drawings supercedes any information noted on photographs. It is not the Architect's intent to present the entire scope of work or all built conditions by the use of photographs. It is the responsibility of the Contractor to verify the scope of work and ALL build conditions in the field prior to start of work.
GD9.	Refer to specifications Division 1 for further demolition standards and requirements.
GD10.	Prior to cutting or altering any opening in an existing wall, footing or roof deck provide shoring, bracing and supports as required to maintain the structural integrity of the building/structure.
GD11.	Prior to removing any existing bearing wall provide shoring, bracing and supports required to maintain the structural integrity of the building/structure.
GD12.	Provide materials for cutting and patching which will result in equal-or-better work than what was removed. Surface to match existing, U.NO.
GD13.	Existing construction that is being removed shall be removed carefully so as not to damage any existing construction that is to remain. All surfaces surrounding objects being removed are to be repaired and patched (in a rectangular pattern) to match existing conditions and made ready to receive any new finishes where applicable.
GD14.	Plumbing lines that are to be removed shall be removed completely or be copped as closed to point of entry in floor or wall as possible, if removal is not possible. Patch floors and walls to match existing conditions.
GD15.	Where existing flooring, ceilings or wall finishes are to be removed and replaced with new finishes the surfaces to remain shall be stripped clean of all existing finishes and made ready to receive new finishes.
GD16.	Floor finishes being replaced shall be completely removed, and the floor cleaned and properly prepared prior to installation of new finish material. Inspect all floors that receive new finishes to assess existing conditions prior to commencement of construction. Patch, fill and strip floor as required, to provide a smooth, durable surface free of burrs and adhesive and suitable for application of new finish material. Under cut doors as required to accommodate new floor finishes.
GD17.	Where new concrete topping is being poured over existing concrete slab: bush hammer existing concrete finish for better bond.
GD18.	Where existing door openings are to be sealed; remove frame and patch wall with the same material and finish as the existing construction. New and existing wall shall align.
GD19.	Where light fixtures are being removed or replaced, ceiling surfaces shall be cleaned, repaired and patched to match the adjacent surfaces prior to installation of new light fixtures.
GD20.	Where door frames are to remain, repair frame - fill hinge pocket and all holes in frame to create finished case opening. Clean, sand smooth and point frame to match existing door frames.
GD21.	Where wall mounted urinal and water closets are to be removed, remove flush valves and prepare surfaces to be sloped and to drain to existing floor drain. Prep surfaces to receive new finish.
GD22.	Remove floor slab as required for new restroom fixtures. Patch and repair slab to match existing.

NOT USED

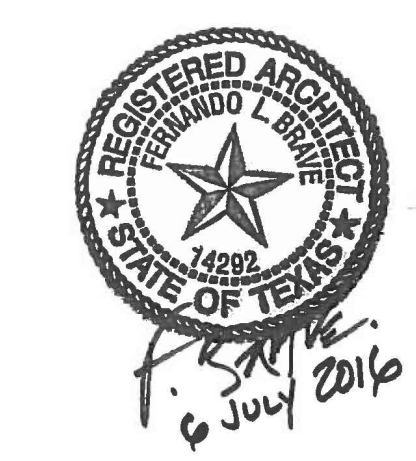
16 KEY NOTES 5



DEMOLITION FLOOR PLAN 1/4" = 1'-0" 5

5	GENERAL NOTES	1
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4617 Montrose Blvd., Suite C.230  
Houston, Texas 77006  
Voice: 713.524.5858  
Fax: 713.524.5868  
studio@bravearchitecture.com  
Contact: Silvana Micolich  
smicolich@bravearchitecture.com



Consultants:  
  
MEP:  
  
Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

**SUNSET COFFEE**  
  
1019 Commerce St.  
Houston, TX 77002

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2016.2.17 OWNER FINAL REVIEW  
2016.2.23 PERMIT

B/A Project No.: 15137  
Drawn By: MM  
Checked By: SM  
Date:  
Scale: AS NOTED

**DEMOLITION FLOOR PLAN**



Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

SUNSET COFFEE

1019 Commerce St.  
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DEMOLITION REFLECTED CEILING PLAN

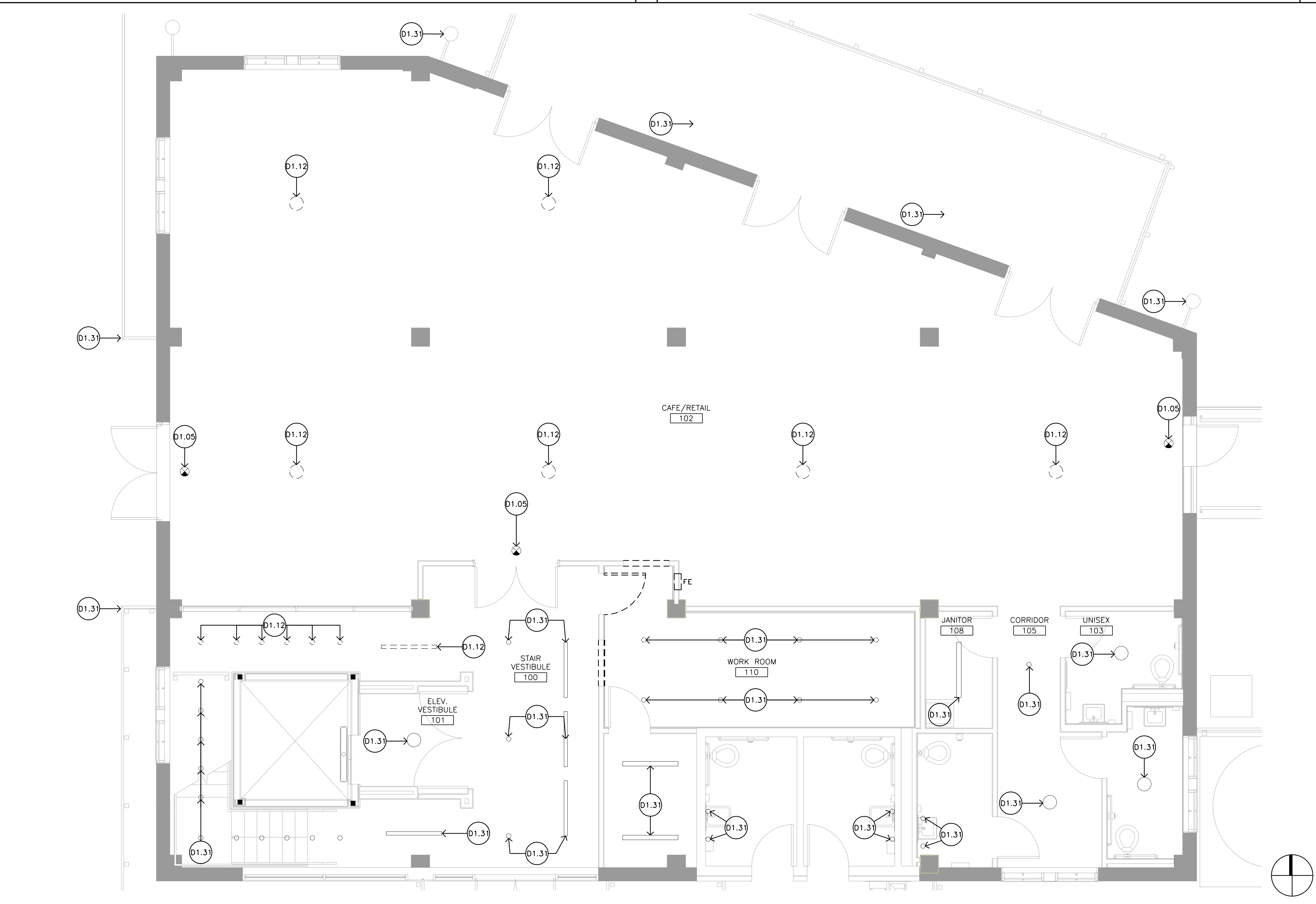
D.201

- D1.01 Remove existing partition/wall. Remove existing finish construction back to existing base building structure. Clean and prepare to receive new construction. Contractor to maintain structural integrity of building. Remove and relocate door, hardware and frame where indicated
- D1.03 Existing exit sign to remain.
- D1.05 Existing light fixtures
- D1.12 Remove shelving
- D1.13 Remove and relocate fire extinguisher
- D1.14 Existing column to remain. All existing structure to remain.
- D1.15 Existing storefront to remain.
- D1.16 Existing door and hardware to remain
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- D1.31 Existing stairs to remain.
- D1.32 Scheduled door
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- 1.04 Custom Millwork, Re: Millwork
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- 1.23 Fire extinguisher
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- 1.33 Custom rope "screen". Rope by owner, installed by GC. Re: Millwork
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- 1.35 Furniture - OFOI
- 1.36 Custom Wall Shelf, Re: Millwork
- 1.40 S.S. sink, Re: MEP
- 1.45 S.S. Hand sink, Re: MEP
- 1.48 Existing Structure
- 1.49 Existing three compartment sink
- 1.50 Shelving system.
- 1.51 Steel bracket
- 1.52 Cup dispenser, Dispense Rite ADJ-2 (typ.) S.S.
- 1.53 Knock Chute, S.S. 6" x 5.5" x 4" Espresso Supply Inc.
- 1.54 6" S.S. grommet
- 2.01 2x6 Wood slat ceiling @ 10'-0" A.F.F.
- 2.02 Gyp. board ceiling @ 8'-6" A.F.F.
- 2.03 Salvaged rope installation
- 2.04 Slot wood ceiling hung with Unistrut @ 48" O.C. max.
- 2.05 Stained wood shelves with black steel brackets
- 2.06 Stained wood shelves with internal steel support

NOT USED

16 KEY NOTES

8



DEMOLITION REFLECTED CEILING PLAN

1/4" = 1'-0" 5 GENERAL NOTES

1





Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

SUNSET COFFEE

1019 Commerce St.  
Houston, TX 77002

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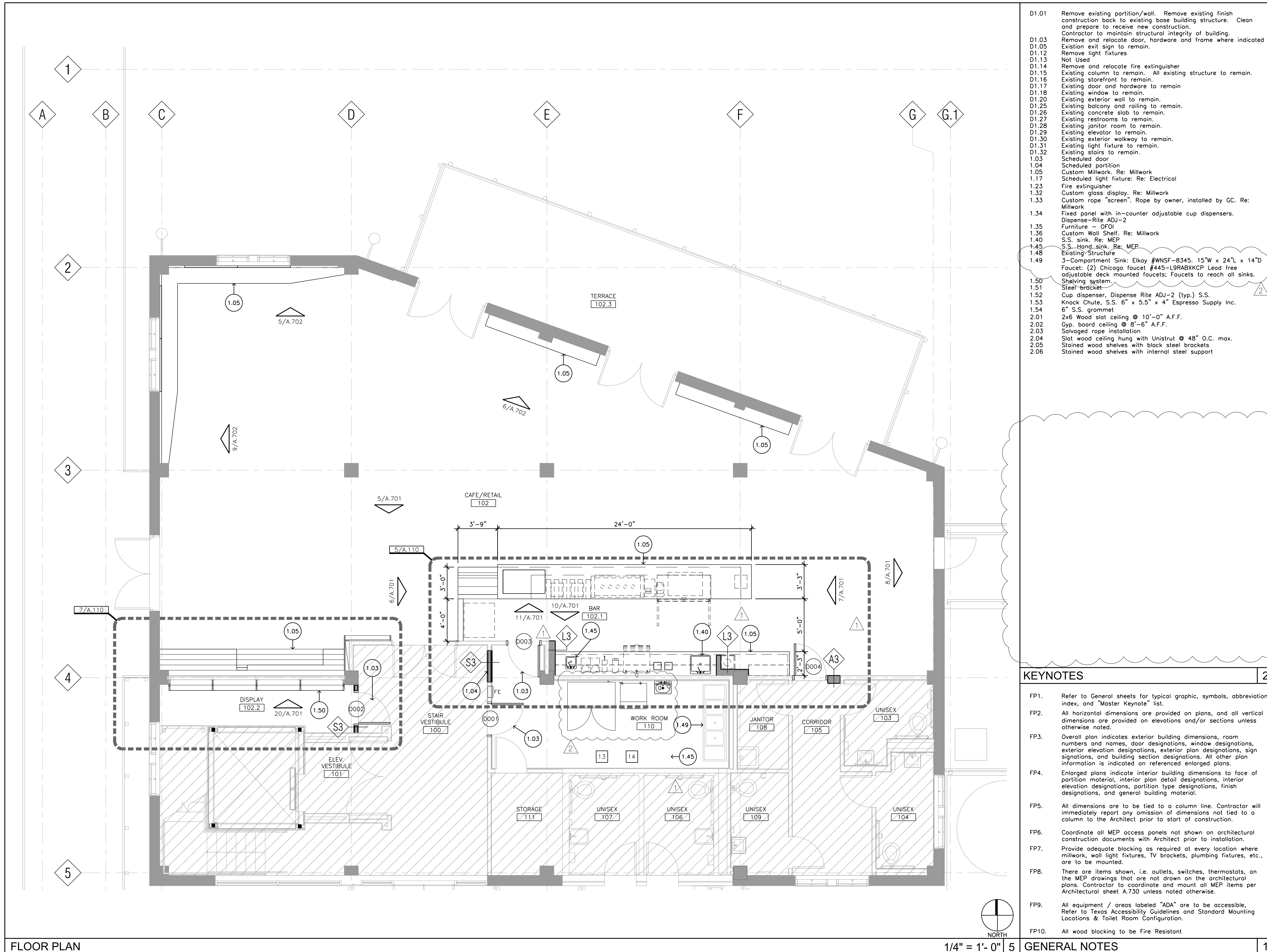
Issue:

- 2016.2.17 OWNER FINAL REVIEW
- 2016.2.23 PERMIT
- 2016.5.4 PERMIT COMMENTS
- 2016.7.8 PERMIT COMMENTS

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FLOOR PLAN

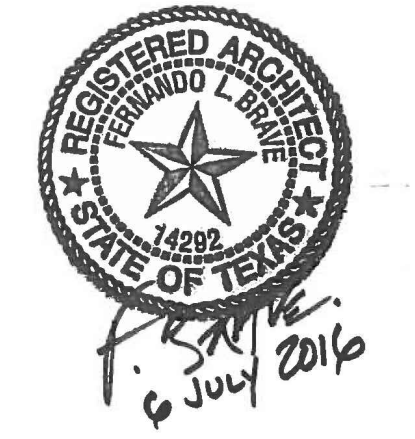
A.101



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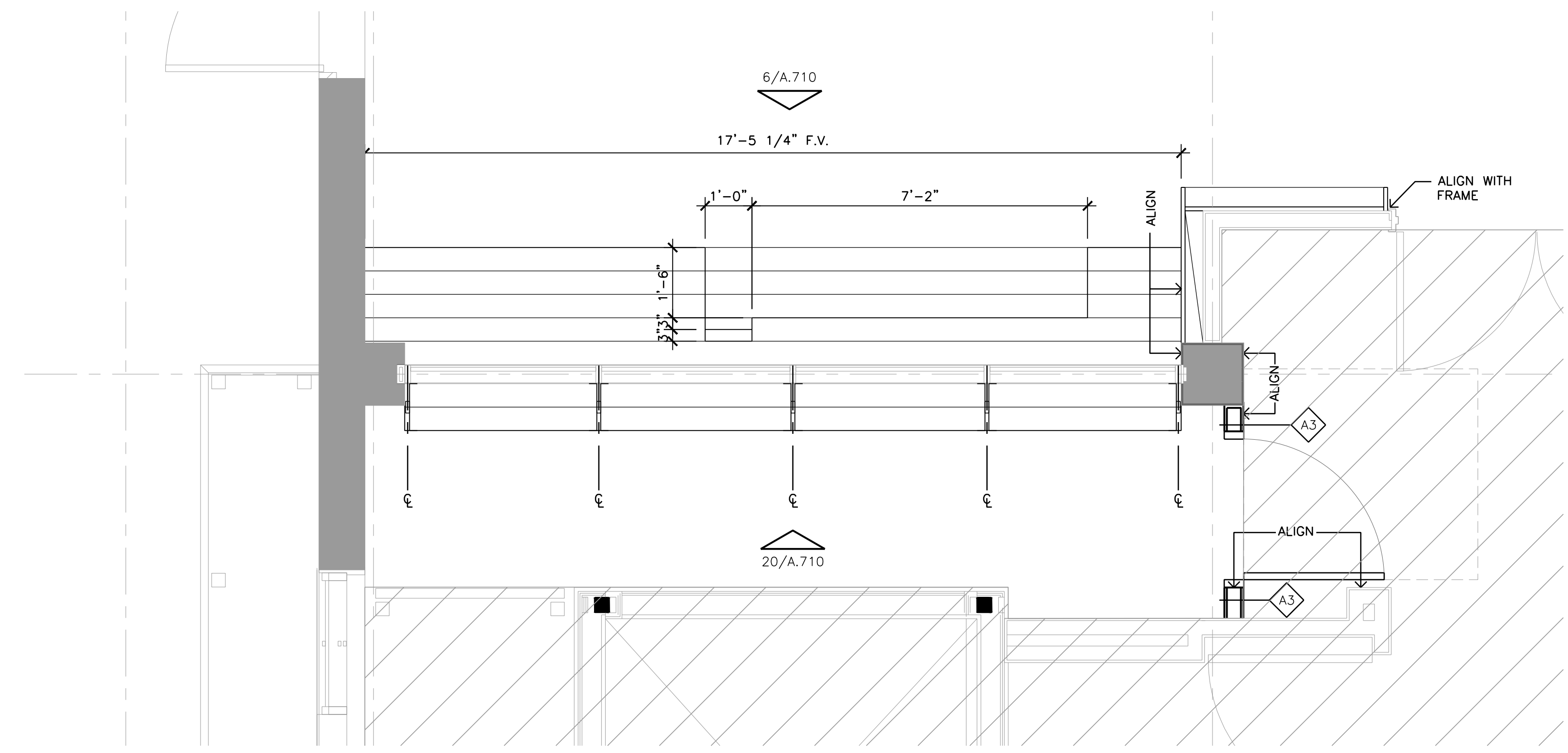
KEYNOTES

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- FP4. Enlarged plans indicate interior building dimensions to face of partition material, interior plan detail designations, interior elevation designations, partition type designations, finish designations, and general building material.
- FP5. All dimensions are to be tied to a column line. Contractor will immediately report any omission of dimensions not tied to a column to the Architect prior to start of construction.
- FP6. Coordinate all MEP access panels not shown on architectural construction documents with Architect prior to installation.
- FP7. Provide adequate blocking as required at every location where millwork, wall light fixtures, TV brackets, plumbing fixtures, etc., are to be mounted.
- FP8. There are items shown, i.e. outlets, switches, thermostats, on the MEP drawings that are not drawn on the architectural plans. Contractor to coordinate and mount all MEP items per Architectural sheet A.730 unless noted otherwise.
- FP9. All equipment / areas labeled "ADA" are to be accessible. Refer to Texas Accessibility Guidelines and Standard Mounting Locations & Toilet Room Configuration.
- FP10. All wood blocking to be Fire Resistant



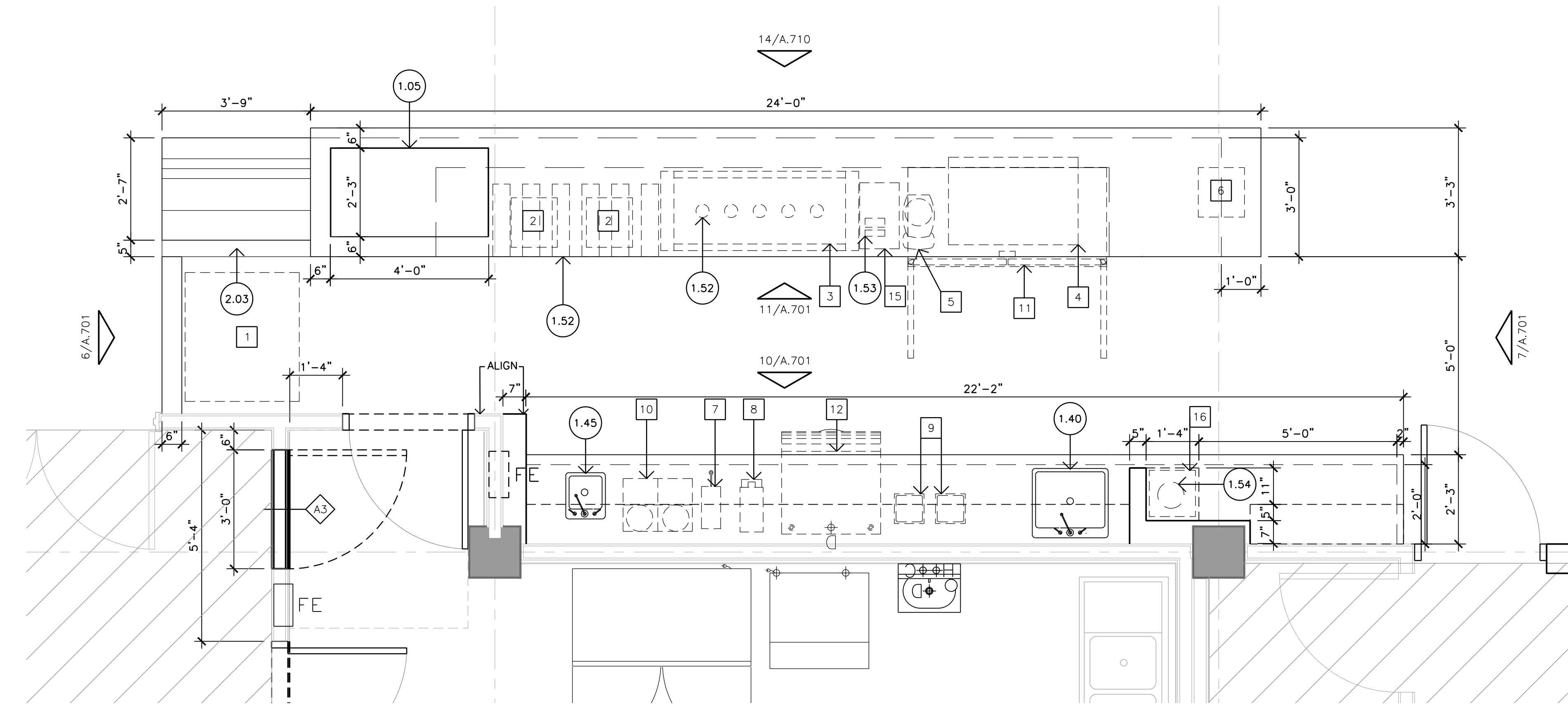
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MEP:  
  
Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

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- 2.06



DISPLAY ENLARGED FLOOR PLAN

1/2" = 1'-0" 7



BAR ENLARGED FLOOR PLAN

1/2" = 1'-0" 5

**KEY NOTES** 3

Equipment list below is provided and installed by owner's food and beverage consultant. Re: MEP for details

- 1 Beverage Case: Turbo Air; TOM-S-SP-A
- 2 Coffee Registers
- 3 Coffee Machine: "Poursteady" 1.0 See also water boiler requirements
- 4 Espresso Machine: Strada; EP. See also water pump and water filtration softner requirements
- 5 Grinder: Mazzer; Kony Electronic
- 6 Bar Register
- 7 Hot Water Tower: Bunn; HSE Element Copper 43600.0005
- 8 Grinder: Bunn; G3 HD Black 22100.0000
- 9 Blender: BlendTec; Q-Series
- 10 Brewing System: Fetco; CBS-52H15-4
- 11 Undercounter Refrigerator: Turbo Air; MUR-60
- 12 Undercounter Ice bin: Ice-O-Matic; B25
- 13 Refrigerator: True Food Service Equipment; T-49
- 14 Ice Maker: Ice-O-Matic; ICE 0400A

Accessories below to be provided by owner's food and beverage consultant.

- 15 23 gallon wall hugger trash can (20x12x30 inches)
- 16 Open top, no cover trash can by Bobrick (B-2280)

**LEGEND** 2

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- FP5. All dimensions are to be tied to a column line. Contractor will immediately report any omission of dimensions not tied to a column to the Architect prior to start of construction.
- FP6. Coordinate all MEP access panels not shown on architectural construction documents with Architect prior to installation.
- FP7. Provide adequate blocking as required at every location where millwork, wall light fixtures, TV brackets, plumbing fixtures, etc., are to be mounted.
- FP8. There are items shown, i.e. outlets, switches, thermostats, on the MEP drawings that are not drawn on the architectural plans. Contractor to coordinate and mount all MEP items per Architectural sheet A.730 unless noted otherwise.
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- FP10. All wood blocking to be Fire Resistant

**GENERAL NOTES** 1

**SUNSET COFFEE**

1019 Commerce St.  
Houston, TX 77002

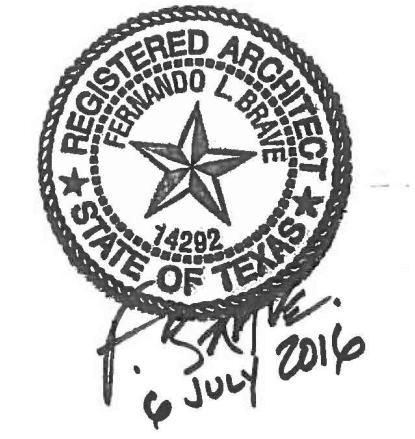
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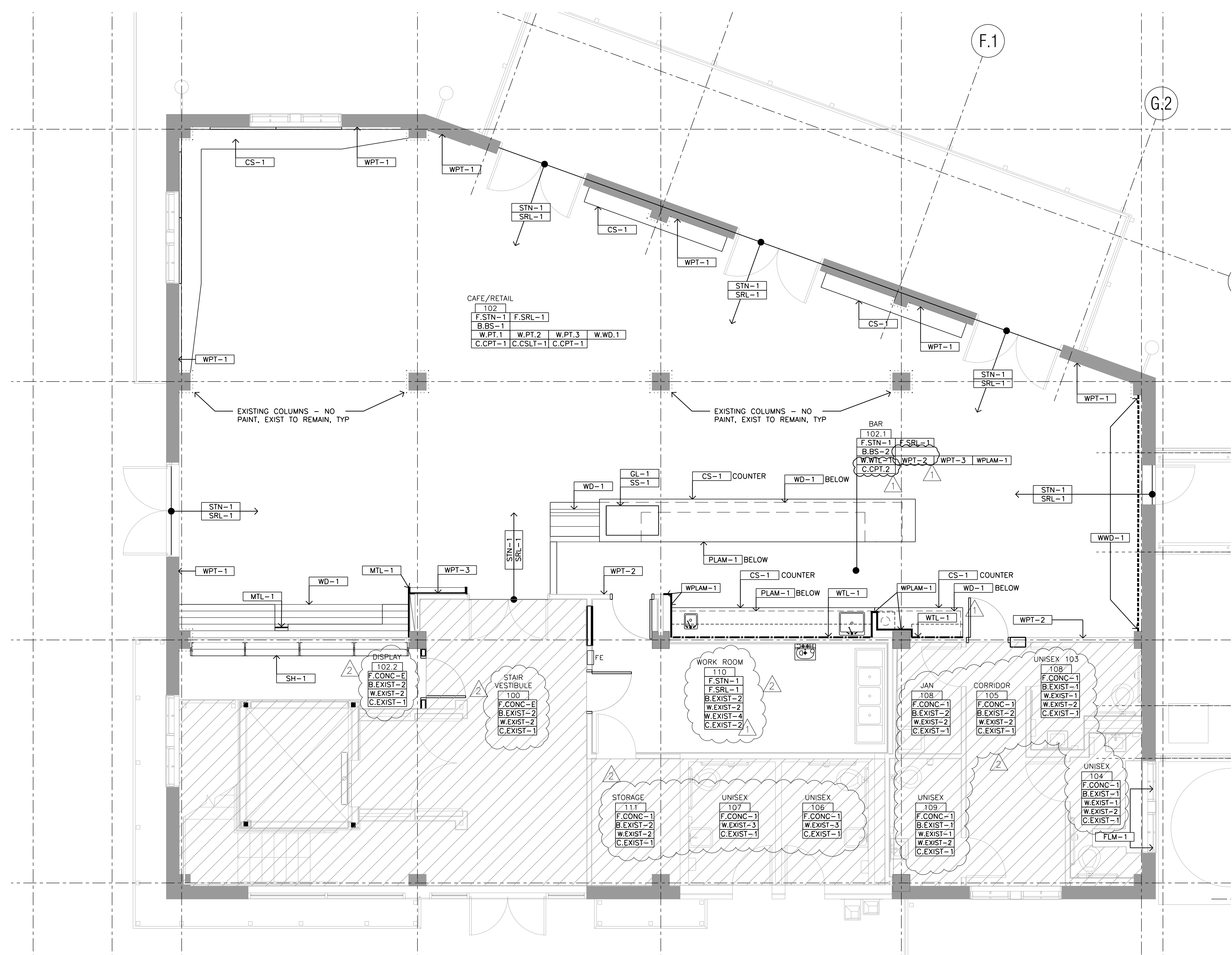
2016.2.17	OWNER FINAL REVIEW
2016.2.23	PERMIT
2016.7.6	PERMIT COMMENTS

B/A Project No.: 15137  
Drawn By: MM  
Checked By: SM  
Date:  
Scale: AS NOTED

**ENLARGED FLOOR PLANS**



Consultants:  
MEP:  
Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130



NOTE: Refer to 5/A.151B for Finish Schedule

NOT USED 3

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- FN4. Enlarged plans indicate interior building dimensions to face of partition material, interior plan detail designations, interior elevation designations, partition type designations, finish designations, and general building material.
- FN5. All dimensions are to be tied to a column line. Contractor will immediately report any omission of dimensions not tied to a column line to the Architect prior to start of construction.
- FN6. Coordinate all MEP access panels not shown on architectural construction documents with Architect prior to installation.
- FN7. Provide adequate blocking as required at every location where millwork, wall light fixtures, TV brackets, plumbing fixtures, etc., are to be mounted.
- FN8. There are items shown, i.e. outlets, switches, thermostats, on the MEP drawings that are not drawn on the architectural plans. Contractor to coordinate and mount all MEP items per Architectural sheet A.730 unless noted otherwise.
- FN9. All equipment / areas labeled "ADA" are to be accessible, Refer to Texas Accessibility Guidelines sheet(s) and Standard Mounting Locations & Toilet Room Configuration.
- FN10. Provide moisture resistant finish as designated and as required in specifications.
- FN11. Provide non-slip surface finish in wet areas.
- FN12. Exposed interior structural steel to be exterior grade point finish.
- FN13. VCT and carpet tile finishes to be laid in basket weave pattern unless noted otherwise.
- FN14. Provide finishes as scheduled or selected by architect.

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Houston, TX 77002

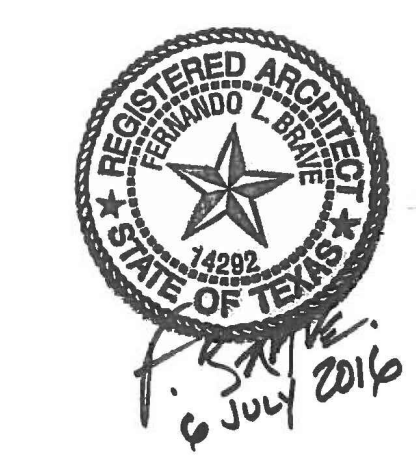
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ISSUE:

2016.2.17	OWNER FINAL REVIEW
2016.2.23	PERMIT
2016.5.4	PERMIT COMMENTS
2016.7.6	PERMIT COMMENTS

B/A Project No.: 15137  
Drawn By: MM  
Checked By: SM  
Date:  
Scale: AS NOTED

FINISH FLOOR PLAN & SCHEDULE



Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

NOT USED

LOCATION	FINISH MARK	ITEM	MANUFACTURER	MANU. NUMBER	MANU. NAME	FINISH	COLOR	NOTE(S):
FLOOR	STN-1	CONCRETE STAIN	SURECRETE ECO-STAIN	701XX	SEMI-TRANSPARENT CONCRETE STAIN WATER BASED CONCENTRATED		TBD	
	SLR-1	CONCRETE SEALER	SURECRETE	DURA-KOTE PFC-120	2-HOUR CURE 67% SOLIDS CLEAR POLYASPARTIC COATING			
BASE	BS-1	WOOD BASE	-	-	1" X 4" PAINTED WOOD BASE	PAINTED, SEMI-GLOSS	TBD	SEMI-GLOSS PAINT
	BS-2	QUARRY BASE	DALTILE	-	4" X 8" QUARRY TILE		ASHEN GRAY	
WALLS	WPT-1	WALL PAINT	BENJAMIN MOORE	2146-10	DARK CELERY	SEMI-GLOSS	SEE NAME/NUMBER	
	WPT-2	WALL PAINT	BENJAMIN MOORE	2024-20	CITRON	SEMI-GLOSS	SEE NAME/NUMBER	
	WPT-3	WALL PAINT	BENJAMIN MOORE	2133-20	BLACK JACK	308 CHALKBOARD PAINT	SEE NAME/NUMBER	
	WTL-1	WALL CERAMIC	METRO	EQ-520/METR/WHI	METRO BLANCO WHITE	GLOSSY	WHITE	
	WWD-1	WOOD PLANKS	STIKWOOD	WEATHERED WOOD	COMMERCIAL PEEL & STICK		REC. WTHRD WOOD	
	WPLAM-1	HEAVY DUTY WALLCOVERING	ACROVYN	ACROVYN 4000	.060" ACROVYN WALL COVERING (ENGINEERED PETG PANELS)	SUEDE	410 BRUSHED SILVER	PROVIDE ACROVYN ALUMINUM TRIM AND CAULK ON ALL EDGES
	WFRP-1	FIBERGLASS REINF. PLASTIC	MATCH EXISTING				WHITE-MATCH EXIST.	PATCH WALLS WHERE DOOR IS RELOCATED
CEILINGS	CPT-1	CEILING PAINT	BENJAMIN MOORE	BLACK				PAINT CLG. WALL, AND ALL ACCESSORIES BLACK ABOVE 11'-0" AFF.
	CPT-2	CEILING PAINT	BENJAMIN MOORE	WHITE				
	CSLT-1	WOOD SLATS	CUSTOM	N/A		STAINED AND SEALED	TBD	1 1/2" X 6" - SOLID BIRCH
	CACT-1	ACOUSTICAL CEILING	ARMSTRONG	BLACK				
MILLWORK	CACT-2	WASHABLE LAY-IN	AMSTRONG	WHITE	CLEAN ROOM VL	SQUARE LAY-IN EDGE	WHITE	2' X 2' TILE
	PLAM-1	COMPACT GRADE LAMINATE	FORMICA	912	3/4" THK. COMPACT GRADE PANELS	MATTE	STOP RED	3/4" THK. COMPACT GRADE PANELS
	MTL-1	METAL LAMINATE	CHEMETAL		SATIN BRONZE ALUMINUM			
	WD-1	PINE SOLID WOOD	CUSTOM			STAINED AND SEALED	TBD	DIMENSIONALLY STABLE
	CS-1	THIN PORCELAIN SLAB	NEOLITH		12MM SLAB		IRON MOSS	CONTACT: LA NOVA TILE
	SS-1	SOLID SURFACE	CORIAN		1/2" THICK		WHITE	INSTALL LOOSE TO ALLOW FOR CLEANING
MISC.	GL-1	GLASS			1/2" CLEAR LOW IRON TEMPERED			
	PT-1	WOOD TRIM PAINT	SHERWIN WILLIAMS			PAINTED, SEMI-GLOSS	TBD	PAINT FOR WINDOW TRIM
	SH-1	SHELVING SYSTEM	3-FORM	500.01	VERSA - FLOOR TO WALL	1" CHROMA SHELVES	TBD	(2) 12" X 48" SHELVES PER UNIT-VERIFY WIDTH TO ALIGN WITH EXIST WINDOW
EXISTING FINISHES	FLM-1	WINDOW FILM	3M		"FROSTED" FILM			
	F.CONC-1	EXPOSED CONCRETE FLOOR	-	-	-	-	-	-
	B.EXIST-1	CERAMIC TILE BASE	DAL-TILE	0190	SEMI-GLOSS-BASE TILE	SEMI GLOSS	ARCTIC WHITE	BASE TILE WITH BULLNOSE @ EXPOSED EDGE
	B.EXIST-2	RESILIENT RUBBER BASE	ROPPE	P110	STRAIGHT RUBBER BASE			
	W.EXIST-1	CERAMIC TILE WALL	DAL-TILE	0190	SEMI-GLOSS-WALL TILE	SEMI GLOSS	ARCTIC WHITE	4-1/2" x 4-1/2" WALL TILE
	W.EXIST-2	WALL PAINT	SHERWIN WILLIAMS	7070	SITE WHITE	SEMI GLOSS	SITE WHITE	
	W.EXIST-3	BURNISHED CMU	SOUTHWEST CONC. PRODUCTS	715	TERRAZO POLISHED CMU	POLISHED	ALAMO BUFF	
	W.EXIST-4	FIBERGLASS REINF. PLASTIC	KEMPLY	CLASS A - WHITE 85	.09" THICK FIBER REINFORCED PLASTIC PANEL	EMBOSSSED	WHITE	INSTALLED UP TO 7'-3" HT.
	C.EXIST-1	EXPOSED CONCRETE DECK	-	-	-			
	C.EXIST-2	WASHABLE LAY-IN TILE	ARMSTRONG	673	KITCHEN ZONE - SQUARE LAY IN	SMOOTH	WHITE	24" x 24" x 5/8"

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Issue:

2016.7.6 PERMIT COMMENTS

B/A Project No.: 15137  
Drawn By: MM  
Checked By: SM  
Date:  
Scale: AS NOTED

**FINISH SCHEDULE**

**FURNITURE SCHEDULE**

ITEM NUMBER	ITEM	NAME	MODEL/SIZE	MANUFACTURER	QUANTITY	OBSERVATIONS
1	OUTDOOR TABLES	INOX TABLE, ROUND	SMALL	DESIGN WITHIN REACH	5	- BY OWNER
2	OUTDOOR CHAIRS	CATENA		LANDSCAPE FORMS	20	METALLIC SILVER - BY OWNER
3	BAR CHAIRS	REMY SIDE CHAIR		RESTORATION HARDWARE	34	GUNMETAL
4	BAR STOOLS	VINTAGE TOLEDO BAR STOOL		RESTORATION HARDWARE	16	WOOD SEAT AND GUNMETAL FINISH
5	LOUNGE SOFA	DECONSTRUCTION SHELTER ARM SOFA	7'-0"	RESTORATION HARDWARE	1	FABRIC = PRENNIALS TEXTURED LINEN WEAVE - COLOR: CAFE
6	COFFEE TABLE	MERCER ROUND COFFEE TABLE	30" DIAM., 16"H	RESTORATION HARDWARE	2	ZINC
7	LOUNGE CHAIRS	LIBRARY LEATHER CHAIR	34"W X 34"D X 29"H	RESTORATION HARDWARE	2	ITALIAN BROMPTON - LEATHER WALNUT OR COCOA COLOR
8	OTTOMANS	LIBRARY LEATHER OTTOMAN	26"W X 22"D X 15"H	RESTORATION HARDWARE	2	ITALIAN BROMPTON - LEATHER WALNUT OR COCOA COLOR
9	ROUND TABLES	FLATIRON ROUND DINING TABLE	48" DIAM., 30"H	RESTORATION HARDWARE	3	ESPRESSO ELM AND RUST METAL *1
10	BAR TABLE	FLATIRON BAR	64"W X 24"D X 36"H	RESTORATION HARDWARE	4	ESPRESSO ELM AND RUST METAL *1
11	GROUP TABLE	FLATIRON RECTANGULAR DINING TABLE	112"L X 39"W X 30"H; 198.2 LBS	RESTORATION HARDWARE	2	ESPRESSO ELM AND RUST METAL *1
12	DISPLAYS	WOOD AND STEEL SHELVING	50"W X 19 1/4"D X 78"H	RESTORATION HARDWARE	3	SALVAGED NATURAL FINISH *2

RESTORATION HARDWARE - PURCHASE CONTRACT GRADE, CONTACT RH CONTRACT - JILL PANZER 214.709.5227 JPANZER@RH.COM

\*1 = GC TO APPLY 5 COATS OF CLEAR MATTE POLYURETHANE.  
\*2 = REMOVE STEEL RODS ACROSS BACK OF SHELVING UNIT.

B/A

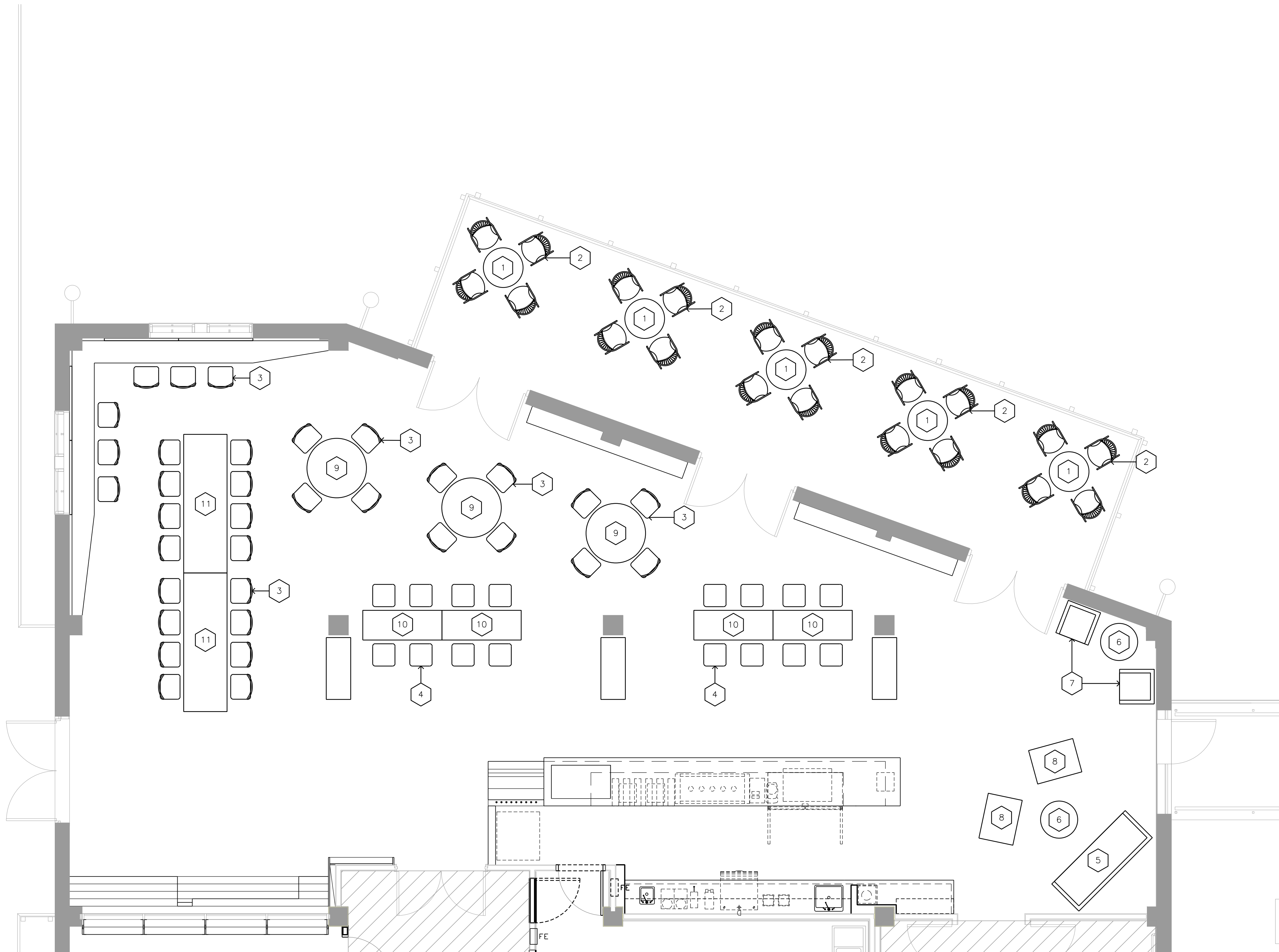
**BRAVE / ARCHITECTURE**

4617 Montrose Blvd., Suite C.230  
Houston, Texas 77006  
Voice: 713.524.5858  
Fax: 713.524.5868  
studio@bravearchitecture.com  
Contact: Silvana Micolich  
smicolich@bravearchitecture.com



FURNITURE SCHEDULE

N.T.S. 8



FLOOR PLAN

1/4" = 1'-0" 5

GENERAL NOTES

N.T.S. 1

Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

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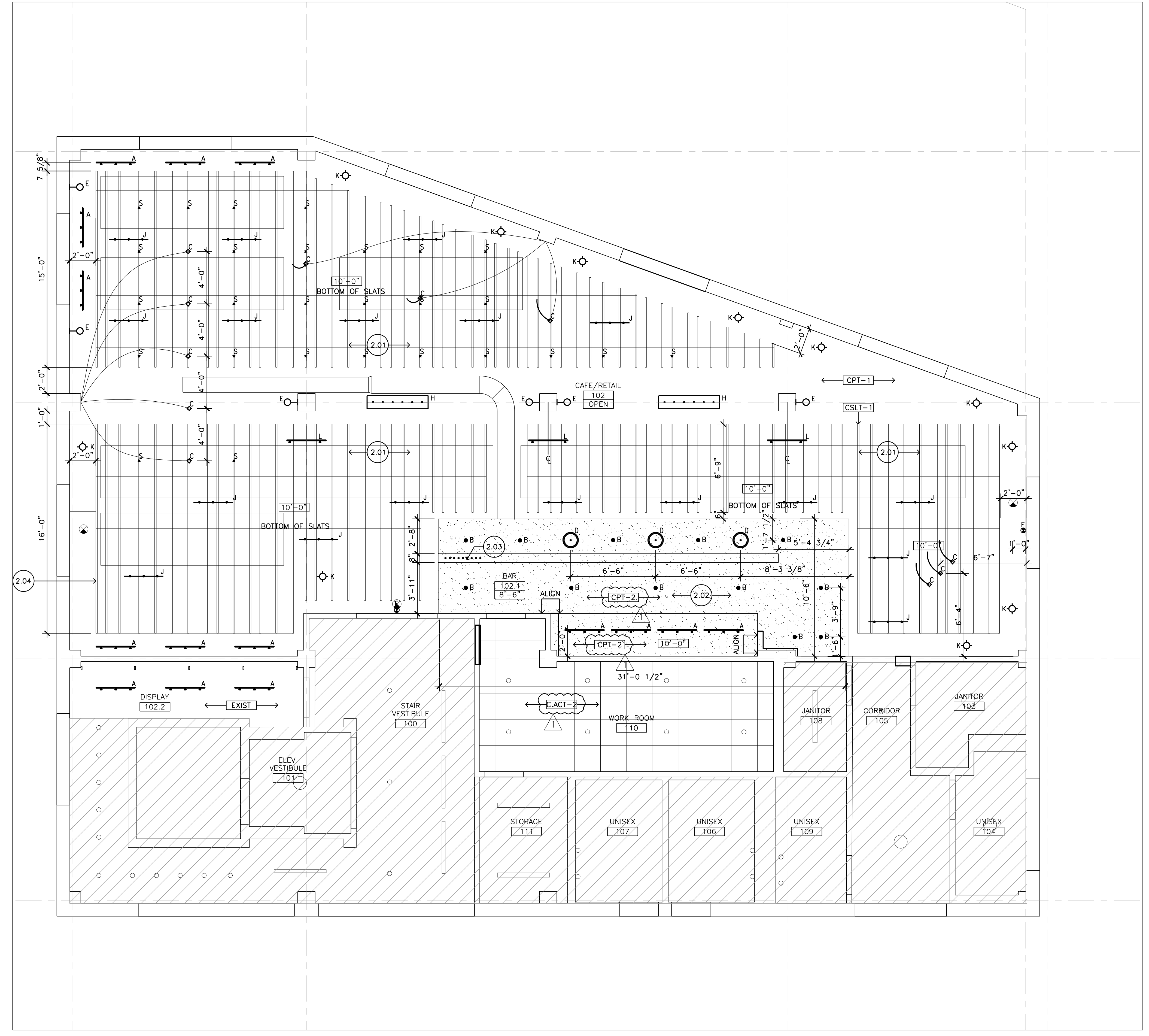
FURNITURE LAYOUT

**A.153**



Consultants:  
  
MEP:  
  
Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

- D1.01 Remove existing partition/wall. Remove existing finish construction back to existing base building structure. Clean and prepare to receive new construction.
- D1.03 Contractor to maintain structural integrity of building.
- D1.05 Remove and relocate door, hardware and frame where indicated
- D1.12 Existing exit sign to remain.
- D1.13 Remove light fixtures
- D1.14 Remove shelving
- D1.15 Remove and relocate fire extinguisher
- D1.16 Existing column to remain. All existing structure to remain.
- D1.17 Existing storefront to remain.
- D1.18 Existing door and hardware to remain
- D1.25 Existing window to remain.
- D1.26 Existing balcony and railing to remain.
- D1.27 Existing concrete slab to remain.
- D1.28 Existing restrooms to remain.
- D1.29 Existing janitor room to remain.
- D1.30 Existing elevator to remain.
- D1.31 Existing exterior walkway to remain.
- D1.32 Existing light fixture to remain.
- D1.33 Existing stairs to remain.
- 1.03 Scheduled door
- 1.04 Scheduled partition
- 1.05 Custom Millwork. Re: Millwork
- 1.17 Scheduled light fixture: Re: Electrical
- 1.23 Fire extinguisher
- 1.32 Custom glass display. Re: Millwork
- 1.33 Custom rope "screen". Rope by owner, installed by GC. Re: Millwork
- 1.34 Fixed panel with in-counter adjustable cup dispensers.
- 1.04 Dispense-Rite ADJ-2
- 1.35 Furniture - OFOI
- 1.36 Custom Wall Shelf. Re: Millwork
- 1.40 S.S. sink. Re: MEP
- 1.45 S.S. Hand sink. Re: MEP
- 1.48 Existing Structure
- 1.49 Existing three compartment sink
- 1.50 Shelving system.
- 1.51 Steel bracket
- 1.52 Cup dispenser, Dispense Rite ADJ-2 (typ.) S.S.
- 1.53 Knock Chute, S.S. 6" x 5.5" x 4" Espresso Supply Inc.
- 1.54 6" S.S. grommet
- 2.01 2x6 Wood slot ceiling @ 10'-0" A.F.F.
- 2.02 Gyp. board ceiling @ 8'-6" A.F.F.
- 2.03 Salvaged rope installation
- 2.04 Slat wood ceiling hung with Unistrut @ 48" O.C. max.
- 2.05 Stained wood shelves with black steel brackets
- 2.06 Stained wood shelves with internal steel support



1/4" = 1'-0" 5

KEY NOTES 3

- GYPSUM BOARD CEILING/FURROW. SEE ELEVATIONS AND SECTIONS.
- TRACK LIGHT (3 HEADS)
- RECESSED "CAN" LIGHT FIXTURE. SEE MEP
- PENDANT LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE. SEE MEP
- EXISTING EXIT SIGN
- CUSTOM PENDANT BY OWNER
- LINEAR PENDANT FIXTURE
- TRACK LIGHT
- PENDANT ADJUSTABLE MONOPOINT
- TRACK LIGHT (2 HEADS)
- PENDANT FIXTURE SWAG HOOK. INSTALL AT 4'-0" O.C. GRID TO HANG "C" FITURES.

RCP LEGEND 2

- RCP1. Refer to General sheets for typical graphic, symbols, abbreviation index, and "Master Keynote" list.
- RCP2. Refer to interior elevations for furred down heights U.N.O.
- RCP3. Center lay-in acoustical ceiling system in each room with equal tile dimensions on opposite walls unless otherwise noted. Notify architect if any tile abutting the partition is less than 6" in width. Secondary wall angles to support "short" runs will not be accepted.
- RCP4. In lay-in acoustical ceilings locate all MEP items not including supply/return air grilles, emergency lighting, sprinkler heads, etc. in center of tile unless otherwise noted.
- RCP5. In gypsum board ceilings locate all MEP emergency lighting, sprinkler heads in center of space and equal distant apart from each other unless otherwise noted.
- RCP6. Coordinate all MEP ceiling and access panels not shown on the architectural construction documents with architect prior to installation.
- RCP7. In exposed ceilings evenly space all fixtures at or below exposed structure or MEP ductwork. Coordinate with MEP to provide lighting "around" final MEP layout to avoid "dark" spots.

GENERAL NOTES 1

REFLECTED CEILING PLAN

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REFLECTED CEILING FLOOR PLAN

A.201



**LOOSE ANGLE LINTEL SCHEDULE**

CLEAR SPAN	STEEL ANGLES FOR 4" MASONRY WALL OPENINGS	NOTES:
4'-0" OR LESS	4" x 4" x 1/4"	1 THRU 8
4'-1" TO 5'-0"	4" x 4" x 1/4"	1 THRU 8
5'-1" TO 6'-0"	6" x 4" x 5/16"	1 THRU 8
6'-1" TO 7'-0"	6" x 4" x 5/16"	1 THRU 8
7'-1" TO 8'-0"	6" x 4" x 5/16"	1 THRU 8
8'-1" OR GREATER		9

- NOTES:
- PROVIDE 8" MIN. BEARING FOR ALL ANGLES.
  - PROVIDE CONTINUOUS LINTELS BETWEEN ADJACENT OPENINGS SEPARATED BY 2'-0" OR LESS
  - THIS SCHEDULE APPLIES ONLY TO NON LOAD BEARING WALLS.
  - ANY AND ALL LINTELS IN LOAD BEARING WALLS SHALL BE SCHEDULED AND DETAILED BY STRUCTURAL
  - IN CASES OF MASONRY VENEER WALLS WITH CMU BACK-UP THE VENEER LINTEL SHALL BE SELECTED PER THIS SCHEDULE. REFER TO STRUCTURAL FOR CMU LINTEL SCHEDULING AND DETAILING.
  - PROVIDE HORIZONTAL EXPANSION JOINTS AT EA. END OF LINTEL
  - PROVIDE END DAMS PER DIVISION SEVEN AND DETAILS
  - MEMBER SIZES INDICATED PER THIS SCHEDULE SHALL ONLY SUPPLEMENT INFORMATION FOUND ELSEWHERE IN THE CONSTRUCTION DOCUMENTS, AND SHALL NOT SUPERSEDE MEMBER SIZES NOTED ON SECTIONS, DETAILS, OR STRUCTURAL DRAWINGS.
  - REFER TO SECTIONS, DETAILS, AND STRUCTURAL DRAWINGS.

**OPENING JAMB STUD FRAMING SCHEDULE**

CLEAR OPENING WIDTH	MIN. NO. OF STUDS @ EA. JAMB	NOTES:
5'-4" OR LESS	2	1 THRU 4
5'-5" TO 8'-0"	3	1 THRU 4
8'-1" TO 10'-8"	4	1 THRU 4
10'-9" TO 13'-4"	5	1 THRU 4
13'-5" TO 16'-0"	6	1 THRU 4
16'-1" OR GREATER		5

- NOTES:
- BASED ON 16" @ 24" O.C. STUD SPACING
  - THIS SCHEDULE APPLIES ONLY TO CFMF
  - JAMB STUDS ARE TO BE CONNECTED TO EACH OTHER
  - REFER TO PARTITION TYPES FOR SIZING AND SPACING OF WALL STUDS
  - REFER TO STRUCTURAL REINFORCEMENT

**GAUGE / THICKNESS SCHEDULE**

US STANDARD GAUGE	MINIMUM BASE METAL THICKNESS	
	IN.	MIL.
26	.0179	18
25	.0209	21
24	.0239	24
22	.0299	30
20	.0359	36
18	.0478	48
16	.0598	60
14	.0747	75
12	.1046	105
10	.1345	135

2

- PT1. Refer to index sheet G.001 and G.002 for typical graphical symbols and abbreviation index.
- PT2. Refer to sheet G.020 and G.021 for accessibility guidelines.
- PT3. All partitions in wet or moist locations will receive moisture resistant sheathing. Refer to plans and specifications for locations of wet or moist areas and material required.
- PT4. Refer to the enlarged floor plans for the locations of the partitions unless noted otherwise.
- PT5. Refer to this sheet for standard details pertaining to the partitions types. One or more of the details will pertain to each partition. It is the responsibility of the contractor to coordinate and reference all standard details to each partition. The contractor is to immediately contact the Architect if any questions arise.
- PT6. Refer to door schedules, window types, and details for construction of openings in the partitions.
- PT7. For all smoke and/or fire rated partitions the designated UL design is to be maintained without exception. All penetrations and openings are to be sealed with an approved UL design or designated detail. These drawings do not list all the UL designs necessary to maintain a partition's smoke and/or fire rating. It is the responsibility of the General Contractor to ensure all rated partitions fully meet UL requirements.
- PT8. Adequate blocking is required at every location where millwork, wall light fixtures, TV brackets, plumbing fixtures, etc. are to be mounted. Blocking is in addition to noted partition construction, and is not meant to replace the partition construction. Blocking is not to interfere or degrade a partition's smoke and/or fire rating.
- PT9. Provide corner guard at every corner of exposed gypsum wall board assembly, Re: Finish Plan.
- PT10. Refer to 2/A.630 for drywall partition design limitations.

**SUNSET COFFEE**

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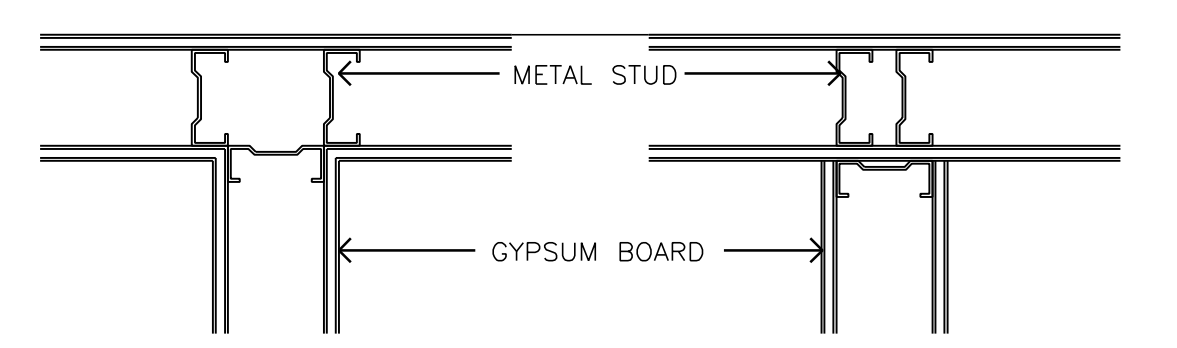
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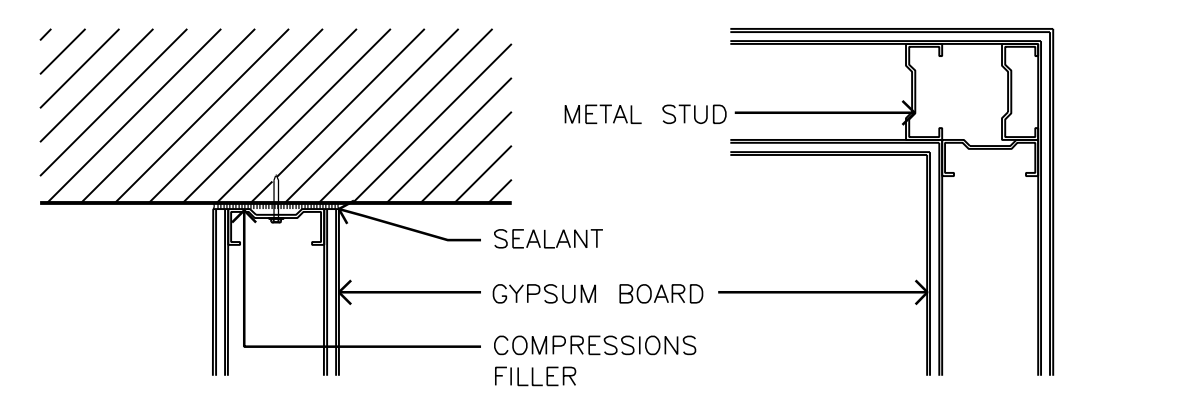
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**PARTITION TYPES**

**A.630**

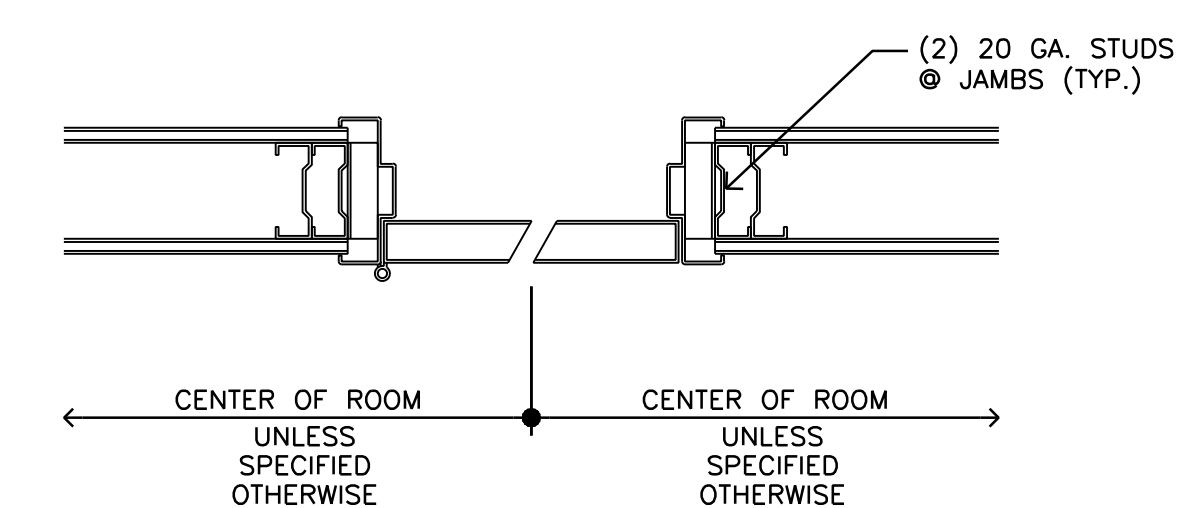


PARTITION TEE  
PARTITION TEE @ CORRIDOR OR RATED WALL

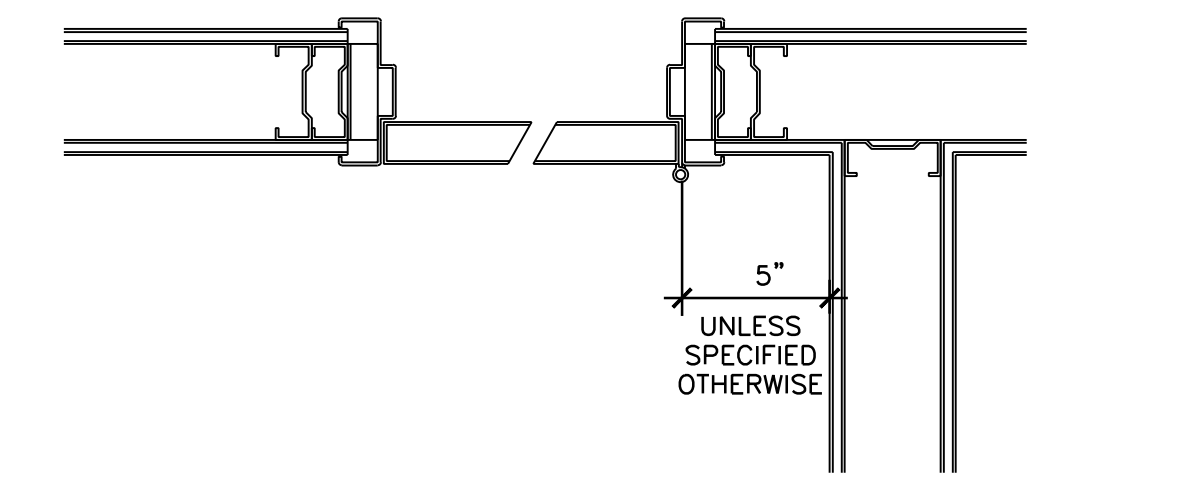


PARTITION TEE @ ADJOINING WALL  
TYPICAL CORNER CONDITION

NOTE:  
REFER TO PLANS FOR PARTITION TYPE.  
REFER TO PARTITION TYPES FOR SIZE AND CONSTRUCTION



TYPICAL OPENING @ MIDDLE OF ROOM UNLESS NOTED OTHERWISE



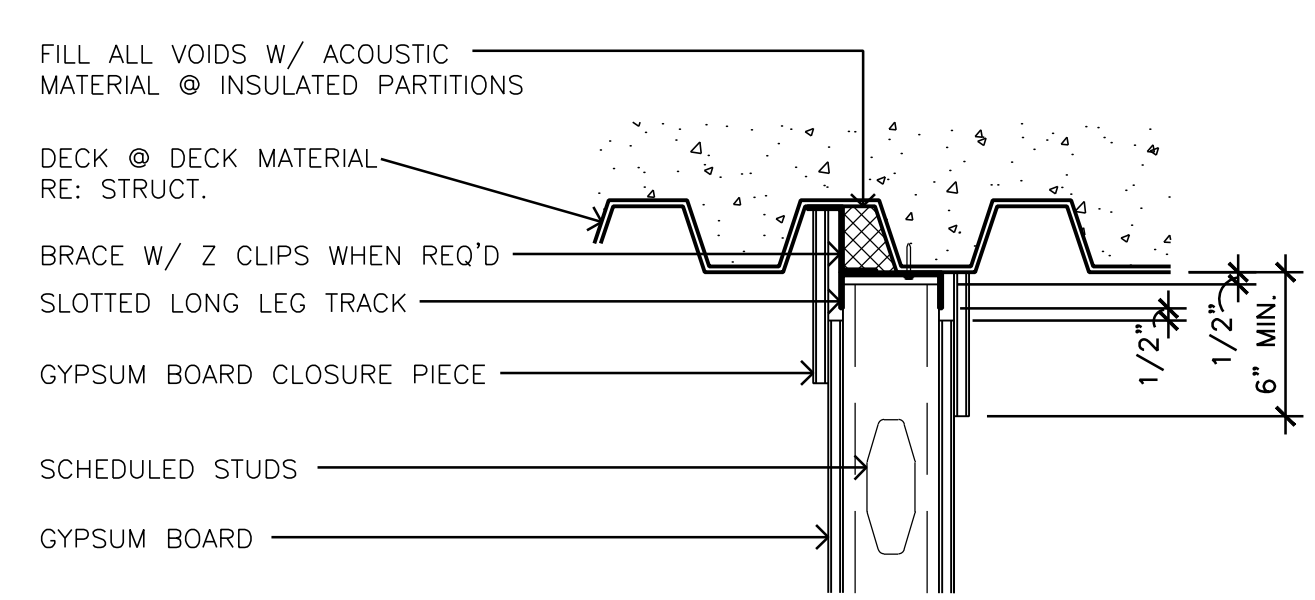
TYPICAL OPENING @ CORNER OF ROOM UNLESS NOTED OTHERWISE

NOTE:  
REFER TO DOOR SCHEDULE FOR DOOR SIZE  
REFER TO PLANS FOR PARTITION TYPE.  
REFER TO PARTITION TYPES FOR SIZE AND CONSTRUCTION

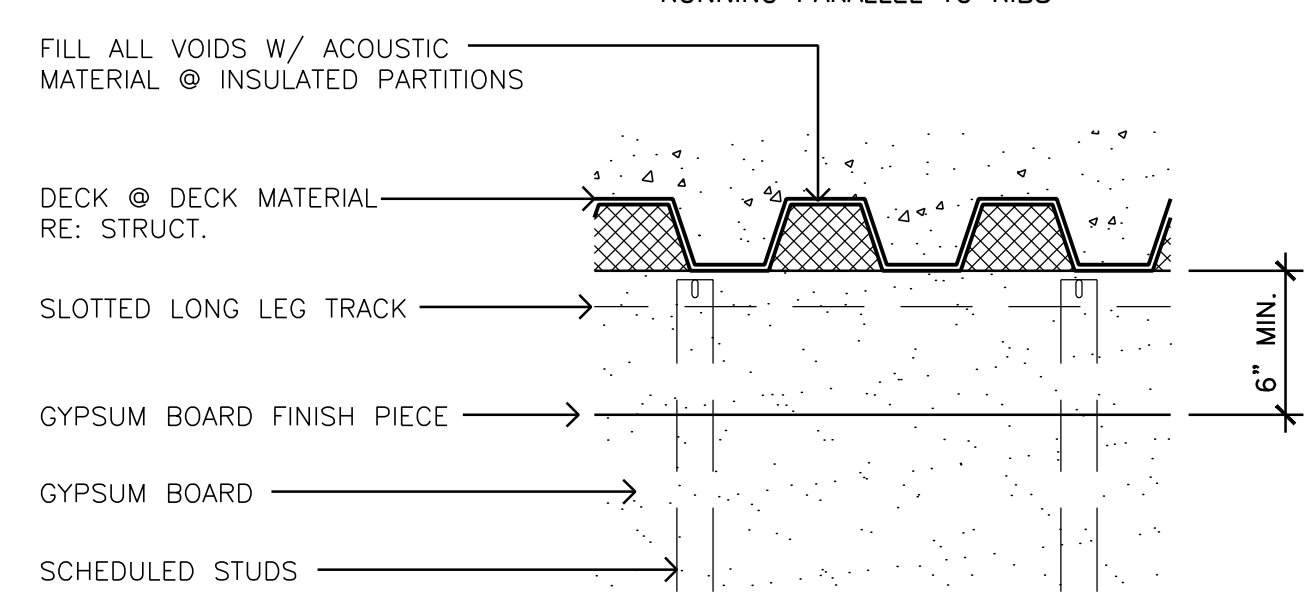
PARTITION TYPE "-" N.T.S. 11

TYPICAL PARTITION CONNECTIONS N.T.S. 8

TYPICAL PARTITION OPENINGS N.T.S. 5



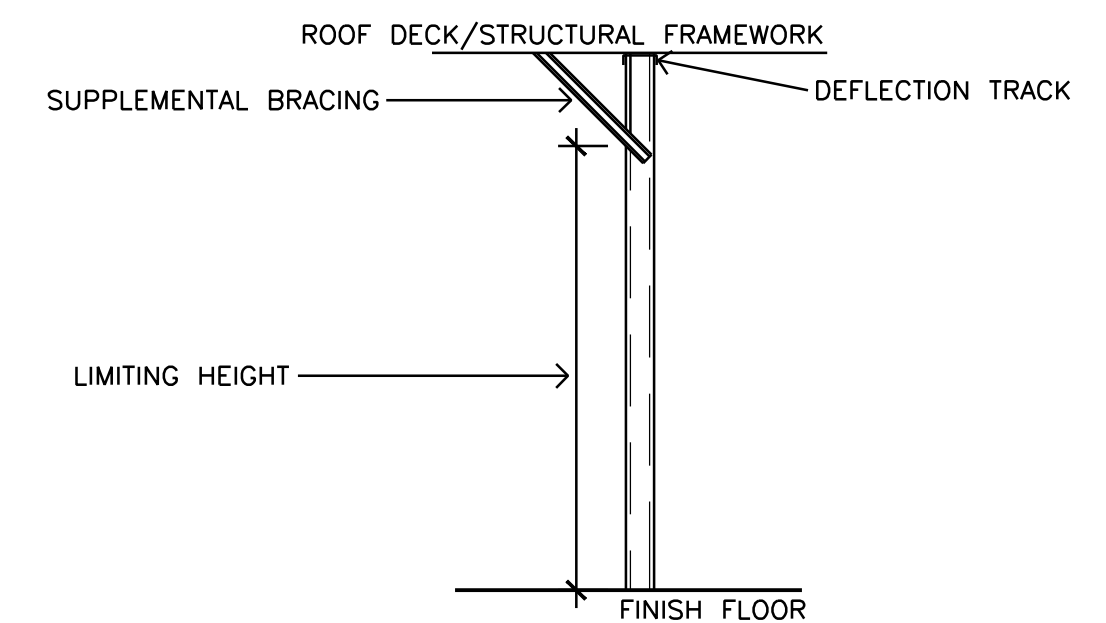
PARTITION @ DECK RUNNING PARALLEL TO RIBS



PARTITION @ DECK RUNNING PERPENDICULAR TO RIBS

NOTE:  
REFER TO PLANS FOR PARTITION TYPE.  
REFER TO PARTITION TYPES FOR SIZE AND CONSTRUCTION

- A. BASE LIMITING HEIGHTS FOR PARTITIONS ON A DEFLECTION CRITERIA RATIO (L/360) OF LOAD WHERE FLOOR TO STRUCTURE HEIGHTS OF PARTITION EXCEEDS THE LIMITING HEIGHT. PROVIDE SUPPLEMENTAL BRACING TO THE STRUCTURE OVERHEAD AS REQUIRED TO MAINTAIN DEFLECTION RATIO (L/360) WITHIN LOAD.



- B. FOR PARTITIONS WITH "BRITTLE" FINISHES SUCH AS PLASTER AND CERAMIC TILE. DESIGN PARTITION SYSTEM TO MAINTAIN DEFLECTION RATIO WITHIN LOAD.
- C. SUSPENDED CEILINGS SHALL NOT BE CONSIDERED AS BRACING.
- D. WHERE GYPSUM WALLBOARD IS THE SUBSTRATE FOR APPLICATION OF CERAMIC TILE. PROVIDE "WATER-RESISTANT, TYPE X" BOARD.
- E. STC RATING SHOWN FOR SOUND WALLS ARE BASED ON LABORATORY TESTED ASSEMBLIES AND DO NOT NECESSARILY INDICATE THE ACTUAL STC RATING OF THE COMPLETED WORK.
- F. PARTITIONS ARE NOT STRUCTURAL ELEMENTS, AND ARE NOT DESIGNED TO CARRY VERTICAL LOADS

PARTITION TYPE "-" N.T.S. 10

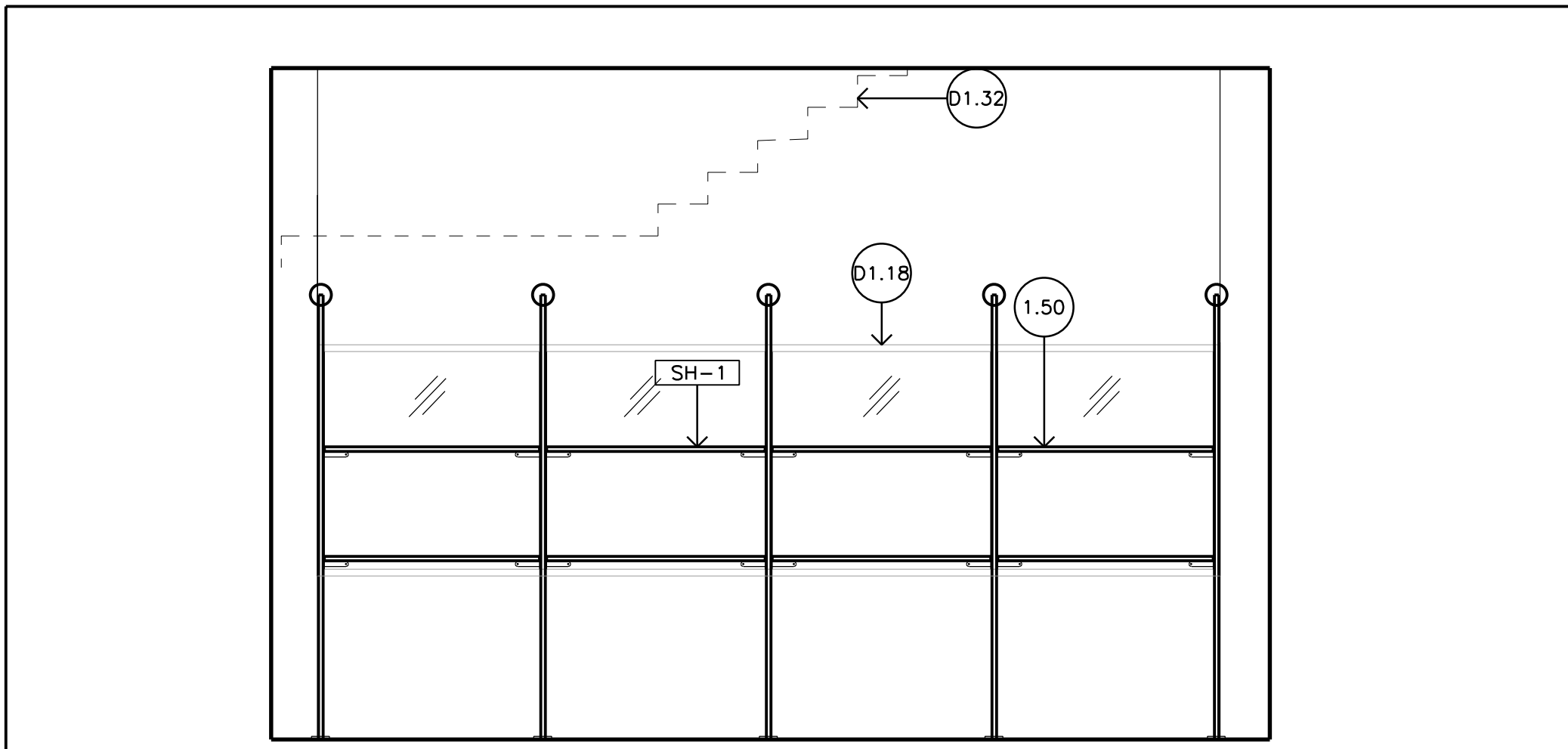
TYPICAL PARTITION @ DECK DETAILS N.T.S. 7

DRYWALL PARTITION DESIGN CRITERIA N.T.S. 4

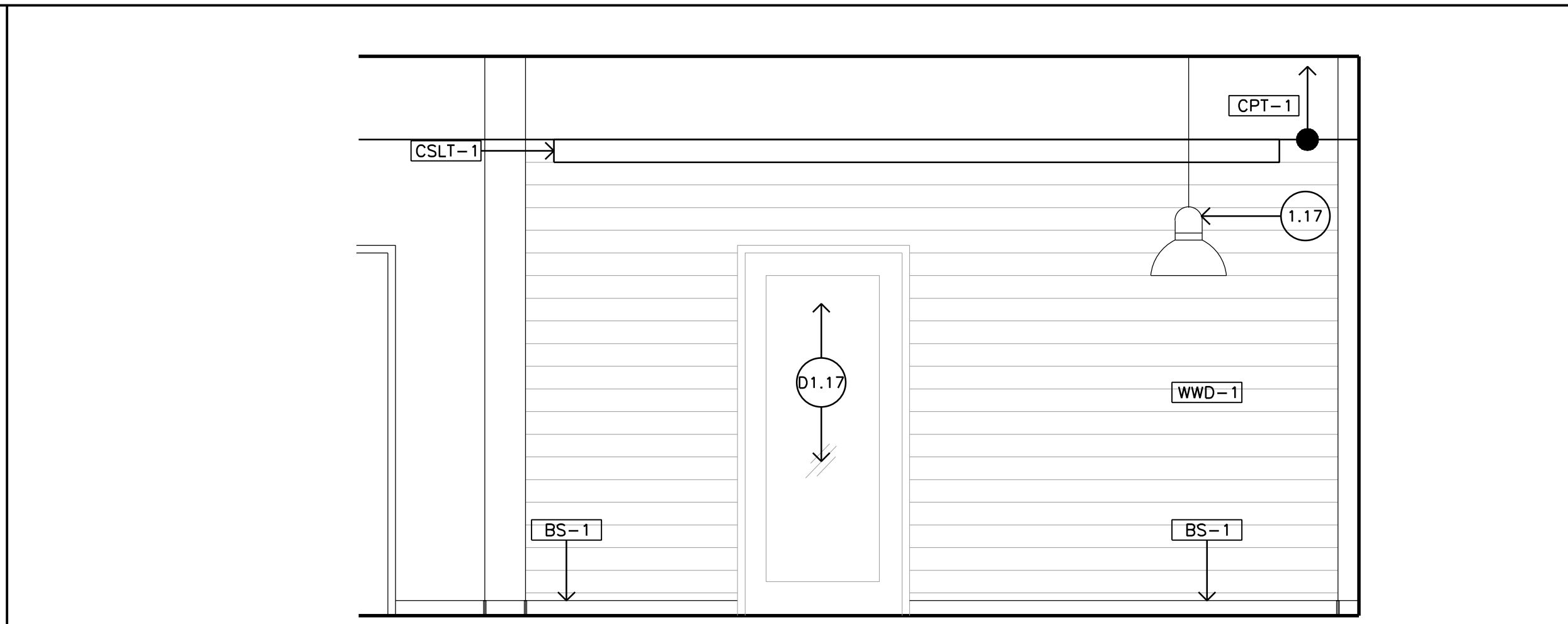
GENERAL NOTES 1



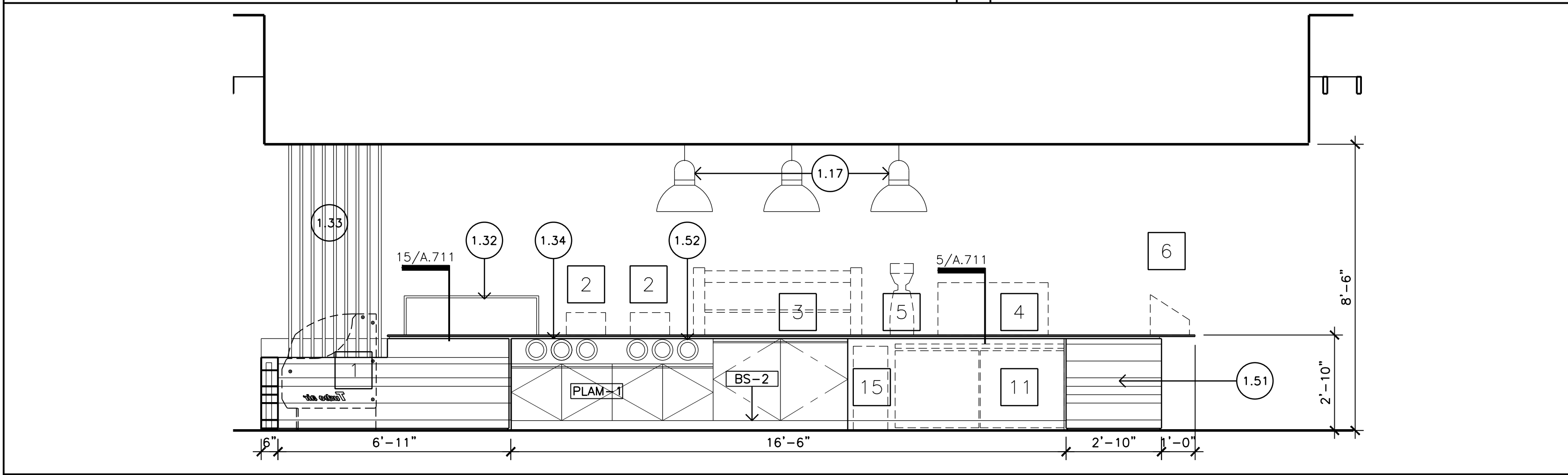




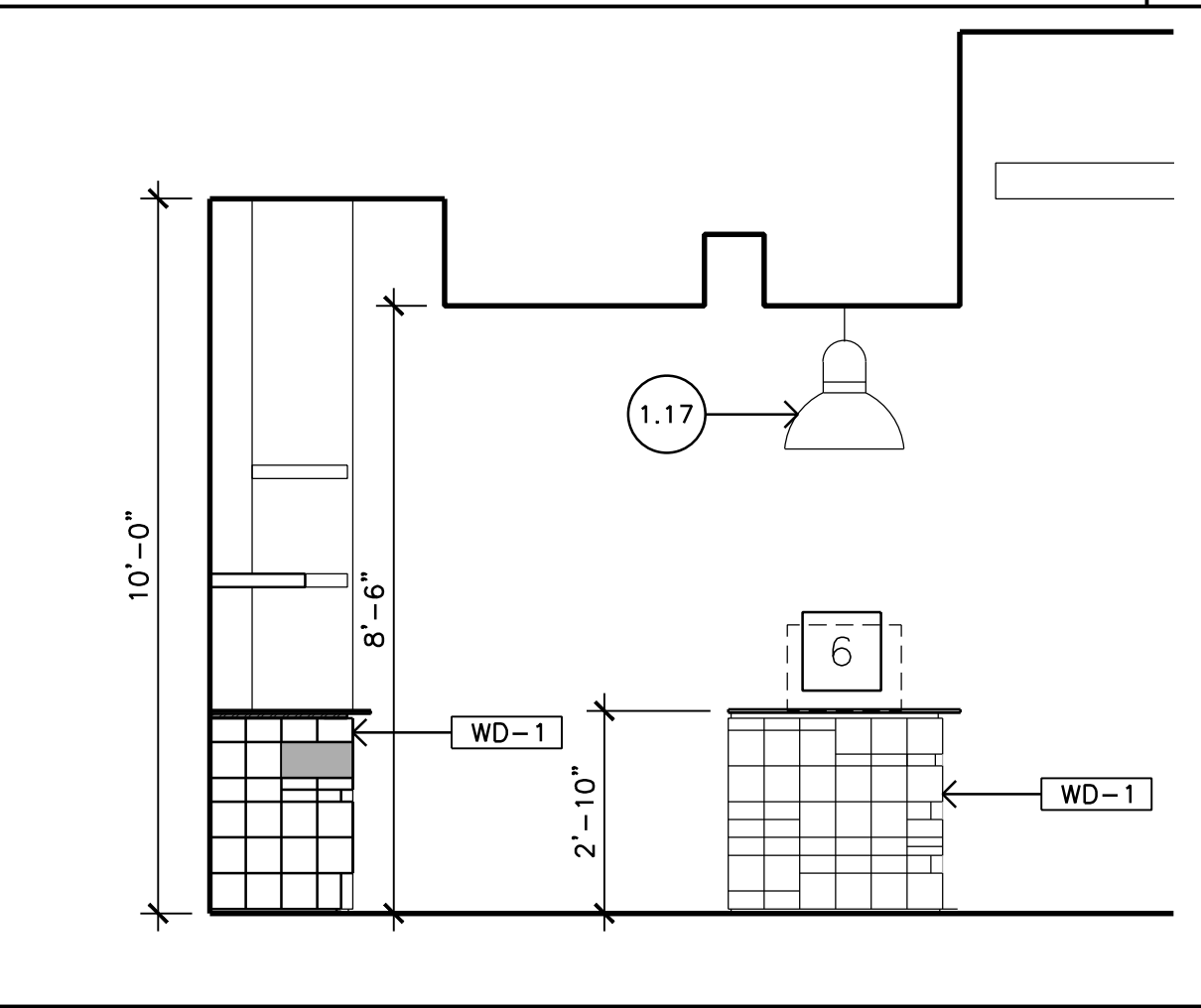
INTERIOR ELEVATION 3/8"=1'-0" 20



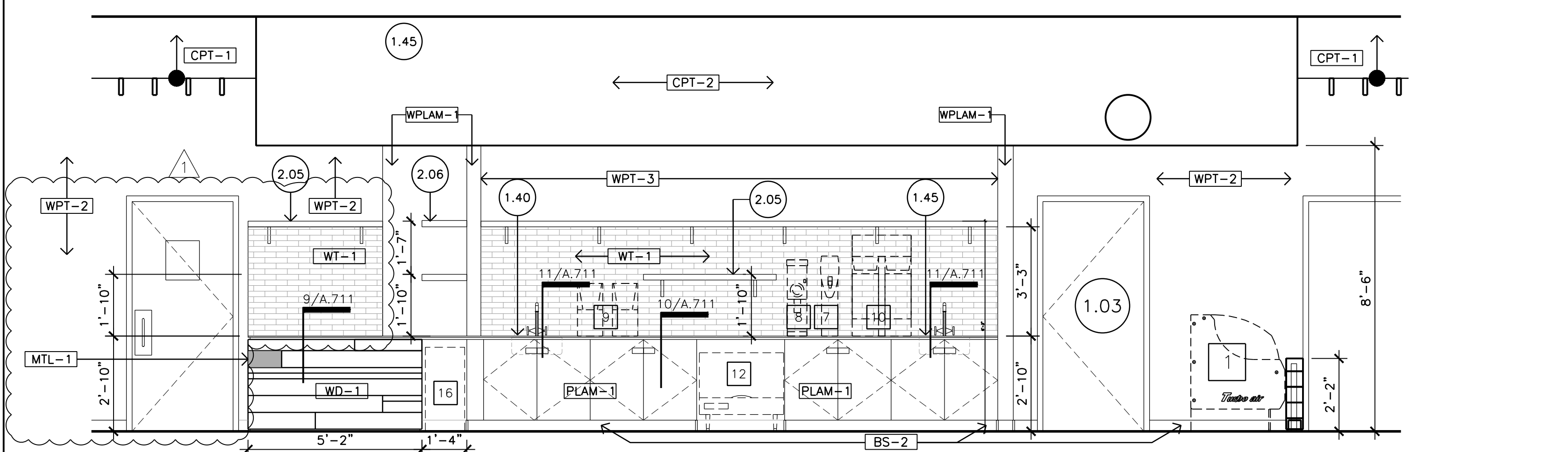
INTERIOR ELEVATION 3/8"=1'-0" 8



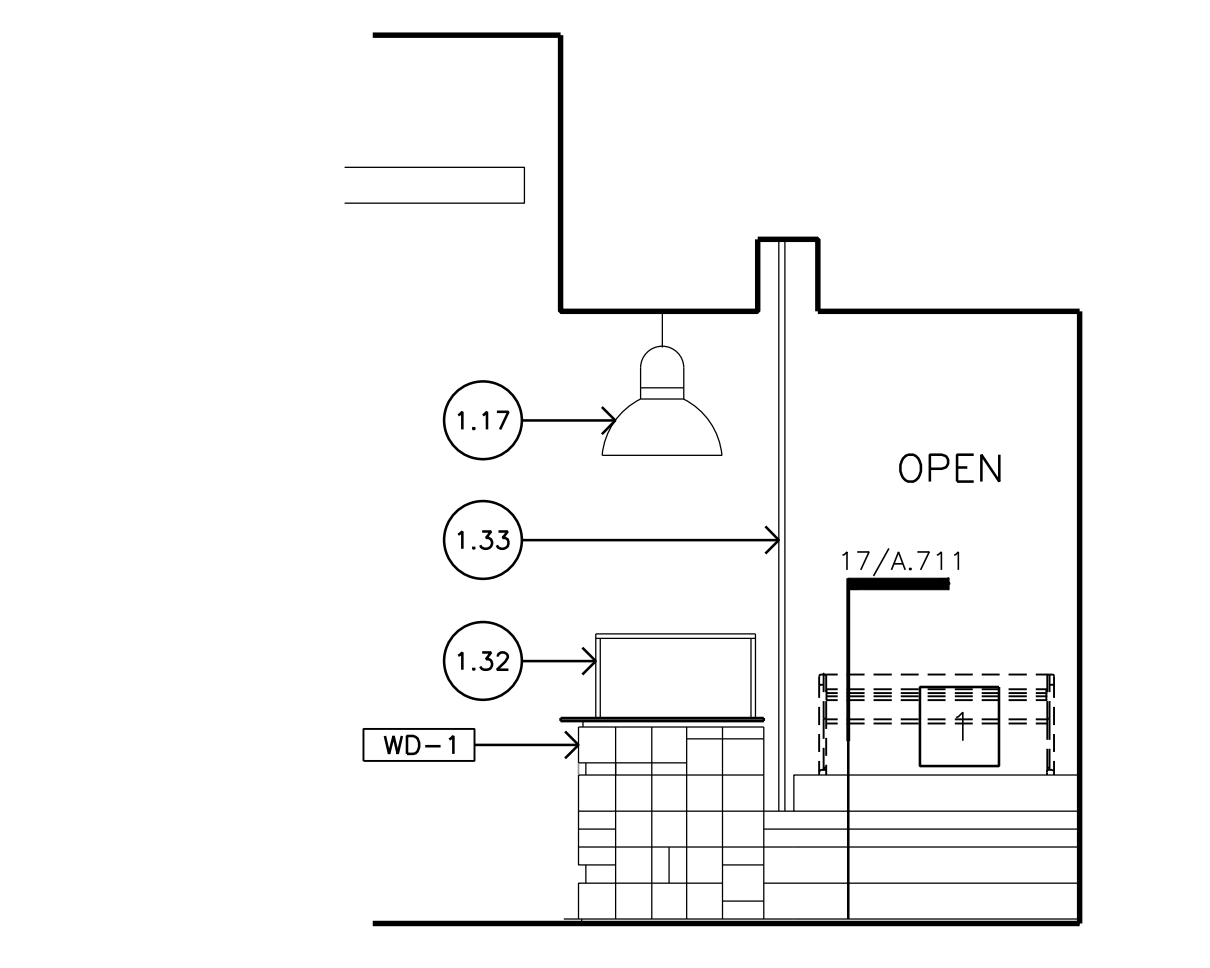
INTERIOR ELEVATION 3/8"=1'-0" 11



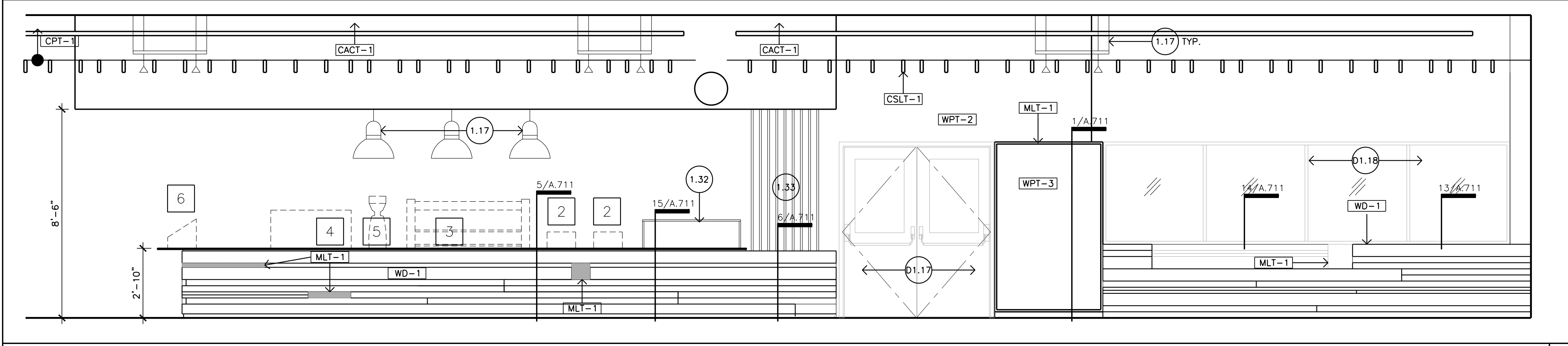
INTERIOR ELEVATION 3/8"=1'-0" 7



INTERIOR ELEVATION 3/8"=1'-0" 10



INTERIOR ELEVATION 3/8"=1'-0" 6

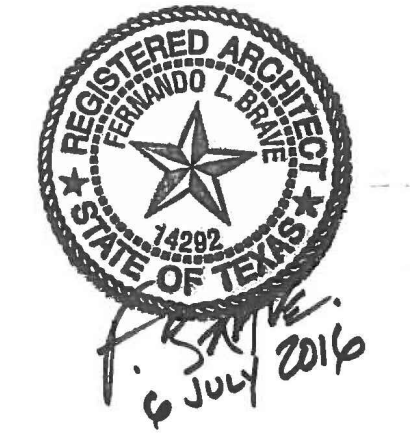


INTERIOR ELEVATION 3/8"=1'-0" 5

- D1.01 Remove existing partition/wall. Remove existing finish construction back to existing base building structure. Clean and prepare to receive new construction. Contractor to maintain structural integrity of building.
- D1.03 Remove and relocate door, hardware and frame where indicated
- D1.05 Existing exit sign to remain.
- D1.12 Remove light fixtures
- D1.13 Not Used
- D1.14 Remove and relocate fire extinguisher
- D1.15 Existing column to remain. All existing structure to remain.
- D1.16 Existing storefront to remain.
- D1.17 Existing door and hardware to remain
- D1.18 Existing window to remain.
- D1.20 Existing exterior wall to remain.
- D1.25 Existing balcony and railing to remain.
- D1.26 Existing concrete slab to remain.
- D1.27 Existing restrooms to remain.
- D1.28 Existing janitor room to remain.
- D1.29 Existing elevator to remain.
- D1.30 Existing exterior walkway to remain.
- D1.31 Existing light fixture to remain.
- D1.32 Existing stairs to remain.
- 1.03 Scheduled door
- 1.04 Scheduled partition
- 1.05 Custom Millwork. Re: Millwork
- 1.17 Scheduled light fixture. Re: Electrical
- 1.23 Fire extinguisher
- 1.32 Custom glass display. Re: Millwork
- 1.33 Custom rope "screen". Rope by owner, installed by GC. Re: Millwork
- 1.34 Fixed panel with in-counter adjustable cup dispensers. Dispense-Rite ADJ-2
- 1.35 Furniture - OFOI
- 1.36 Custom Wall Shelf. Re: Millwork
- 1.40 S.S. sink. Re: MEP
- 1.45 S.S. Hand sink. Re: MEP
- 1.48 Existing Structure
- 1.49 3-Compartment Sink. Elkay #WNSF-8345. 15"W x 24"L x 14"D  
Faucet: (2) Chicago faucet #445-L9RABKCP Lead free adjustable deck mounted faucets; Faucets to reach all sinks.  
Shelving system:  
Steel bracket  
Cup dispenser, Dispense Rite ADJ-2 (typ.) S.S.  
Knock Chute, S.S. 6" x 5.5" x 4" Espresso Supply Inc.  
6" S.S. grammet  
2x6 Wood slot ceiling @ 10'-0" A.F.F.  
Cyp. board ceiling @ 8'-6" A.F.F.  
2.02 Existing Structure
- 2.03 Salvaged rope installation
- 2.04 Slot wood ceiling hung with Unistrut @ 48" O.C. max.
- 2.05 Stained wood shelves with black steel brackets
- 2.06 Stained wood shelves with internal steel support



4617 Montrose Blvd., Suite C.230  
Houston, Texas 77006  
Voice: 713.524.5858  
Fax: 713.524.5868  
studio@bravearchitecture.com  
Contact: Silvana Micolich  
smicolich@bravearchitecture.com



Consultants:  
  
MEP:  
  
Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

SUNSET COFFEE  
  
1019 Commerce St.  
Houston, TX 77002

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KEY NOTES

- IE1. Refer to General sheets for typical graphic, symbols, abbreviation index, and "Master Keynote" list.
- IE2. Refer to Texas Accessibility Guidelines sheet(s).
- IE3. All horizontal dimensions are provided on plans, and all vertical dimensions are provided on elevations and/or sections unless otherwise noted.
- IE4. Provide adequate blocking as required at every location where millwork, wall light fixtures, TV brackets, plumbing fixtures, etc., are to be mounted. Items are required to resist 250 pound point load.
- IE5. There are items shown, i.e. outlets, switches, thermostats, on the MEP drawings that are not drawn on the architectural elevations. Contractor to coordinate and mount all MEP items per architectural sheet A.730 unless noted otherwise.
- IE6. Refer to finish schedule and plans for all finishes unless noted otherwise.
- IE7. All custom millwork, if in scope of work, is shown in elevation and designed per designated details. Refer to interior elevations, millwork details, and specifications divisions 06000 and/or division 12000.
- IE8. All manufacturer casework, if in scope of work, is designated on enlarged floor plans. Refer to casework schedule and specifications division 12000 for detailed information. Contractor is to follow the scheduled manufacturer's specifications, instructions, and recommendations unless directed otherwise by the contract manual.
- IE9. Refer to the equipment schedule for all installed equipment. Equipment is designed on enlarged floor plans.

ISSUE:

2016.2.17	OWNER FINAL REVIEW
2016.2.23	PERMIT
2016.5.4	PERMIT COMMENTS
2016.7.6	PERMIT COMMENTS

B/A Project No.: 15137  
 Drawn By: MM  
 Checked By: SM  
 Date:  
 Scale: AS NOTED

INTERIOR & MILLWORK ELEVATIONS



Consultants:

MEP:

Collaborative Engineering Group  
 8904 Fairbanks N. Houston Suite 201  
 Houston, TX 77064  
 T: 281.598.1170  
 F: 281.598.1130

**SUNSET COFFEE**

1019 Commerce St.  
 Houston, TX 77002

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Issue:

**2016.2.17 OWNER FINAL REVIEW**  
**2016.2.23 PERMIT**

B/A Project No.: 15137  
 Drawn By: MM  
 Checked By: SM  
 Date:  
 Scale: AS NOTED

**INTERIOR & MILLWORK ELEVATIONS**

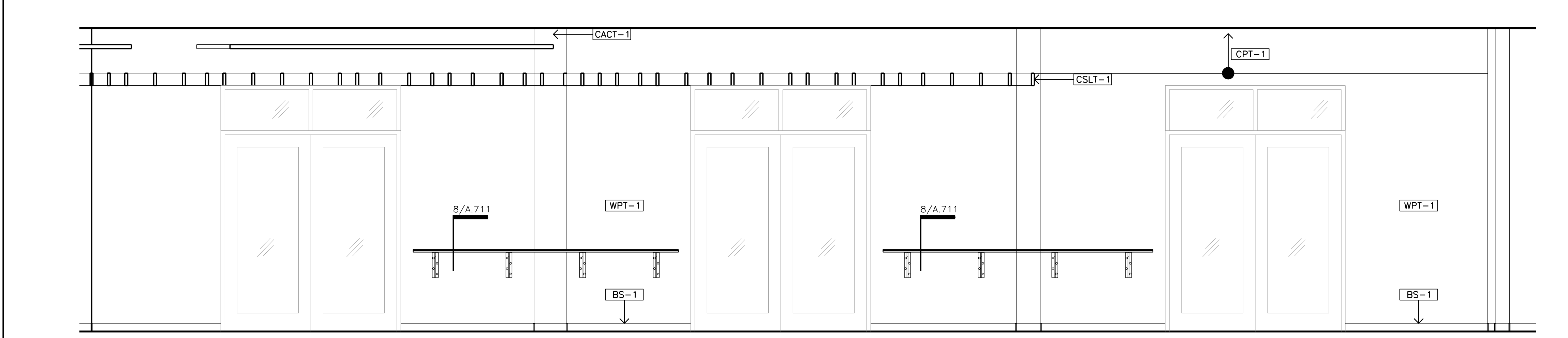
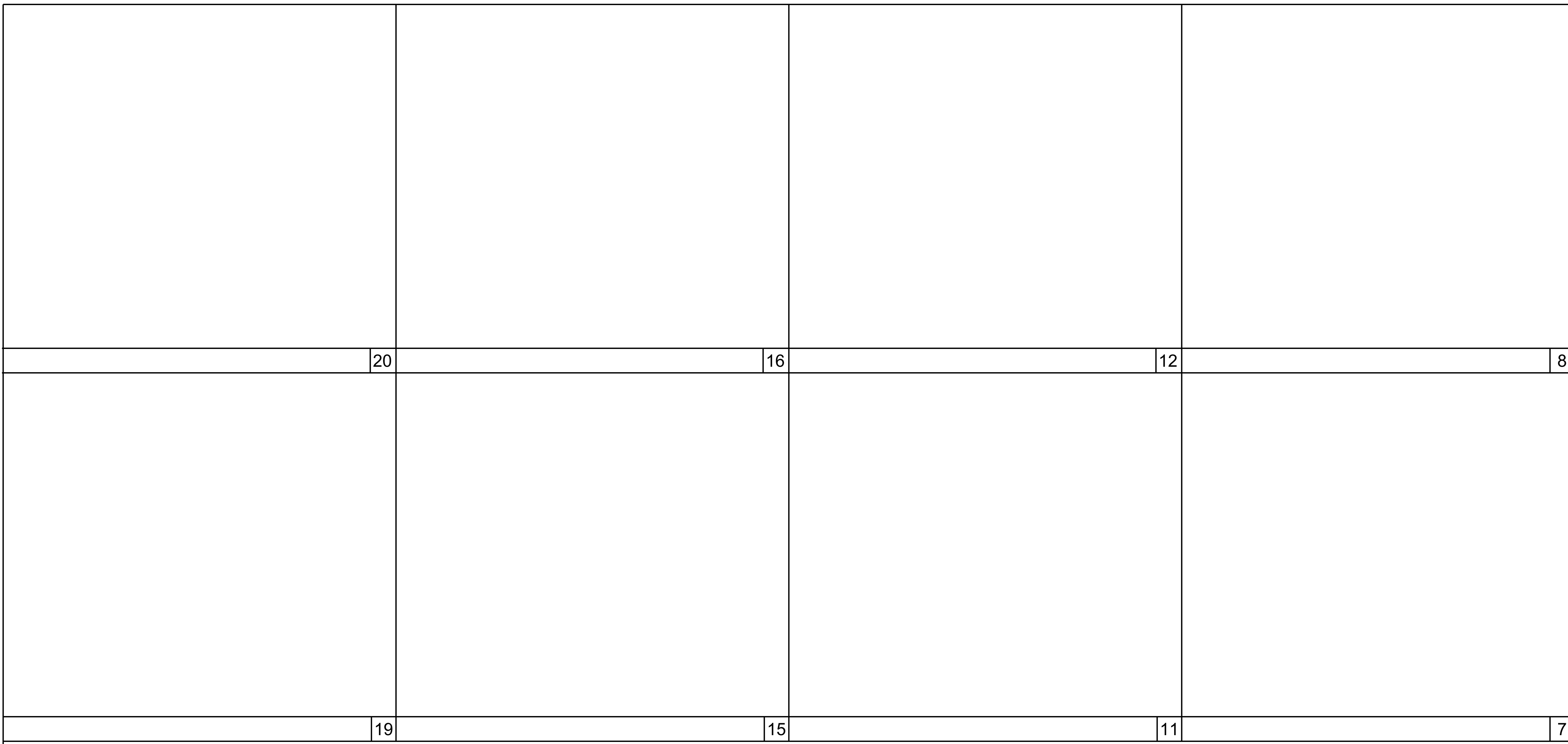
**A.702**

- D1.01 Remove existing partition/wall. Remove existing finish construction back to existing base building structure. Clean and prepare to receive new construction. Contractor to maintain structural integrity of building.
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- D1.13 Remove shelving
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- 1.40 S.S. sink, Re: MEP
- 1.45 S.S. Hand sink, Re: MEP
- 1.48 Existing Structure
- 1.49 Existing three compartment sink
- 1.50 Shelving system.
- 1.51 Steel bracket
- 1.52 Cup dispenser, Dispense Rite ADJ-2 (typ.) S.S.
- 1.53 Knock Chute, S.S. 6" x 5.5" x 4" Espresso Supply Inc. 6" S.S. grammet
- 1.54 2x6 Wood slot ceiling @ 10'-0" A.F.F.
- 2.01 Gyp. board ceiling @ 8'-6" A.F.F.
- 2.02 Salvaged rope installation
- 2.03 Slat wood ceiling hung with Unistrut @ 48" O.C. max.
- 2.04 Stained wood shelves with black steel brackets
- 2.05 Stained wood shelves with internal steel support
- 2.06

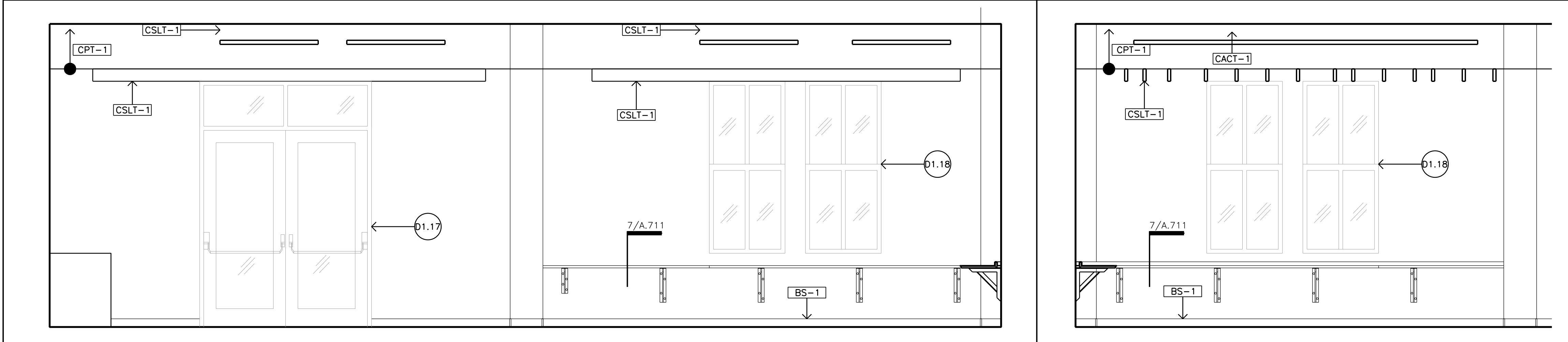
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**GENERAL NOTES**



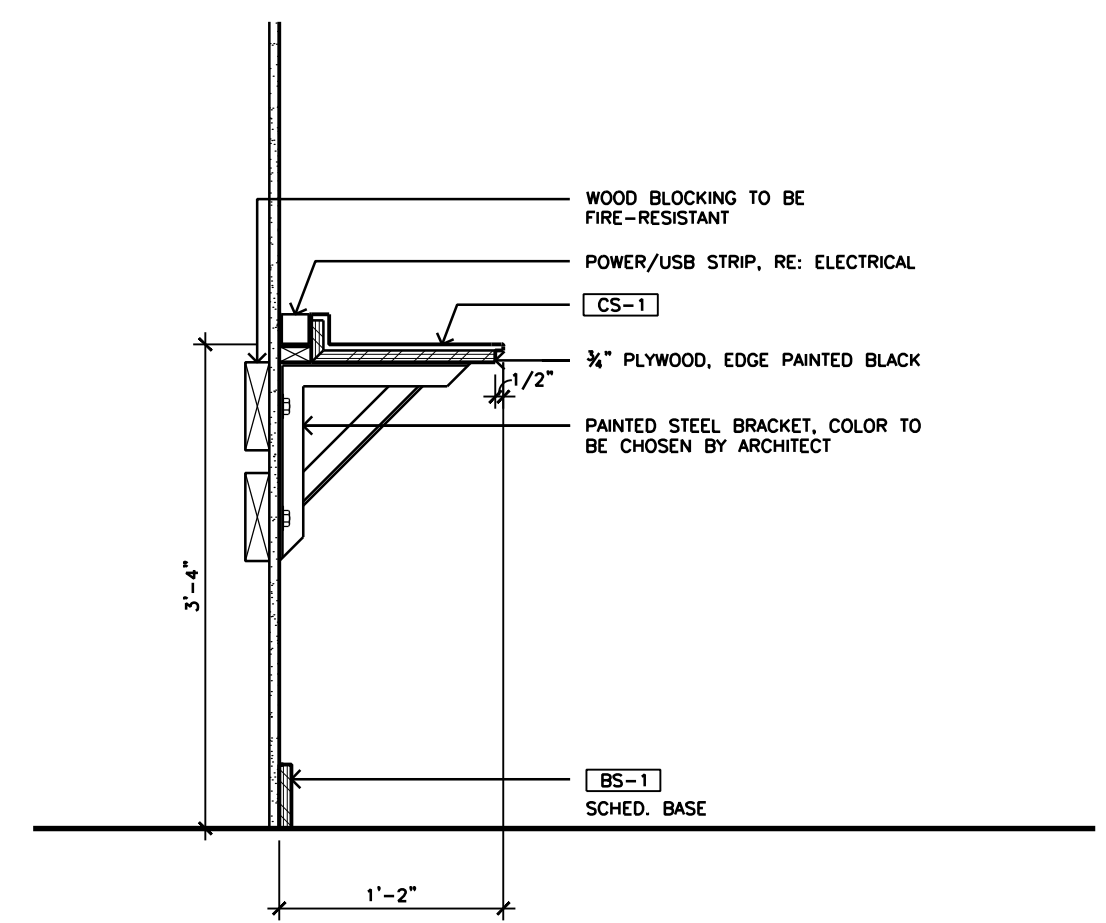
**INTERIOR ELEVATION**



**INTERIOR ELEVATION**

**GENERAL NOTES**

MILLWORK HARDWARE				
ACCESSORIES	LOCATION	MANUFACTURER	TYPE	DESCRIPTION
STYLING DRAWERS	ACCURIDE	ACCURIDE	3832TR touch release	
DRAWERS	ACCURIDE	ACCURIDE	3640A	
ALL MILLWORK	IVES	IVES	CL-11 OR CL-12	ADD CL-14 TO ALL LARGE DOORS
STYLING DRAWERS	DOCKING DRAWER	STYLE DRAWER SE		BUILT-IN POWER OUTLET FOR STYLISTS' DRAWERS
CLOSET	KC STORE FIXTURE	-	-	-
CLOSET	KC STORE FIXTURE	-	-	-

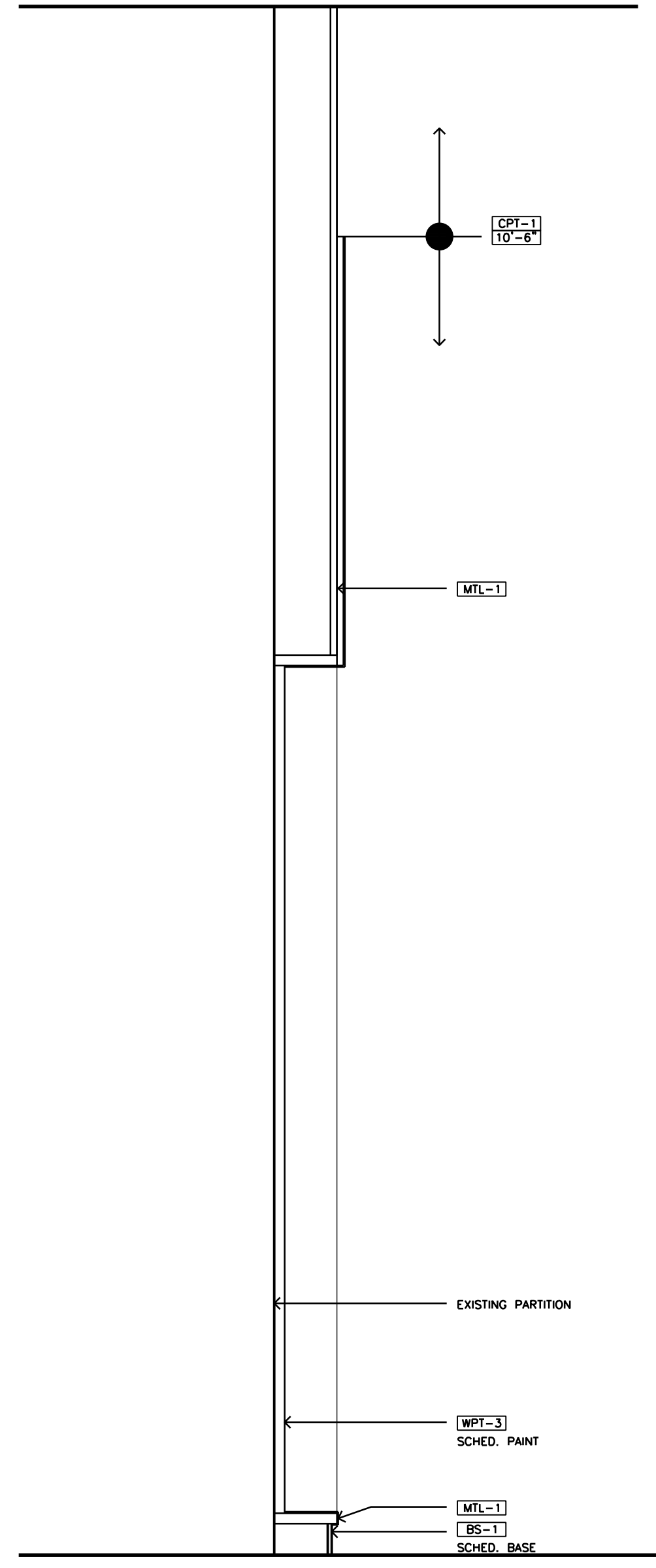
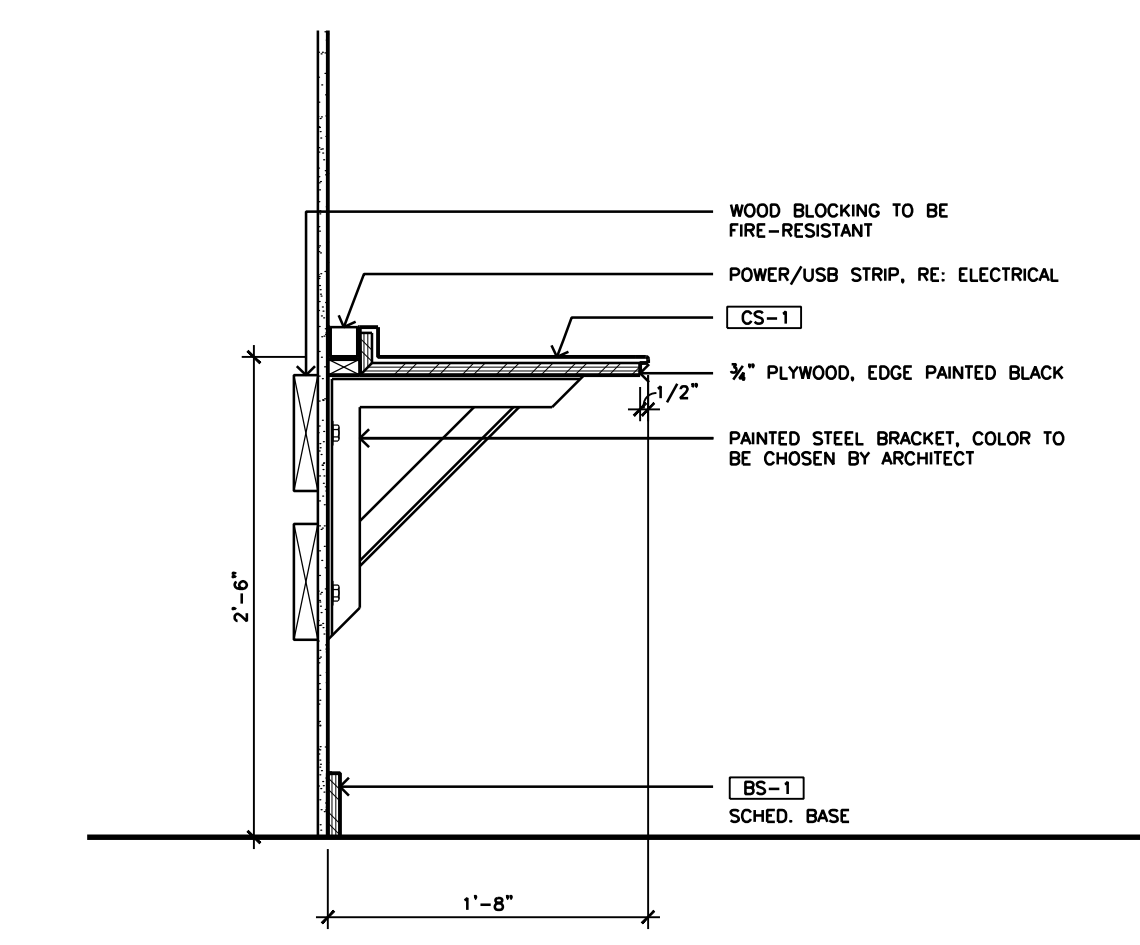
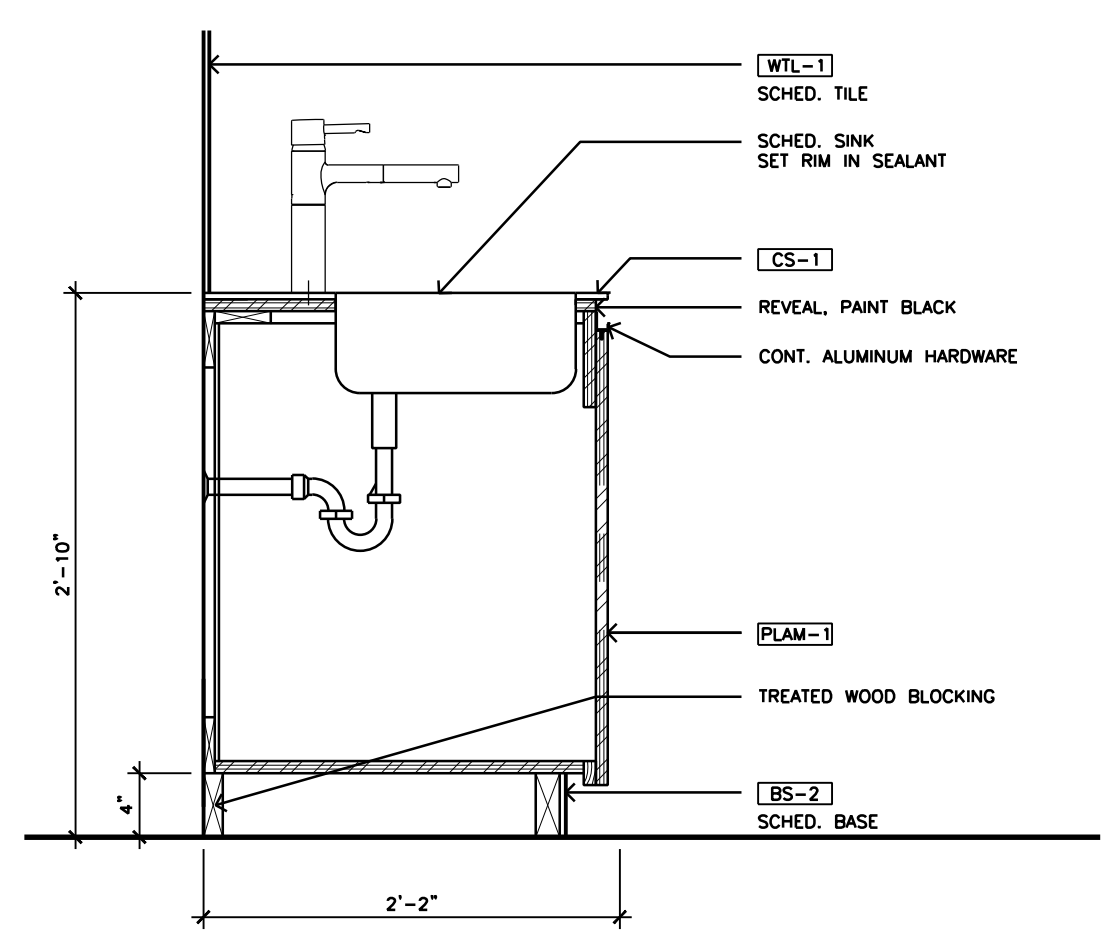
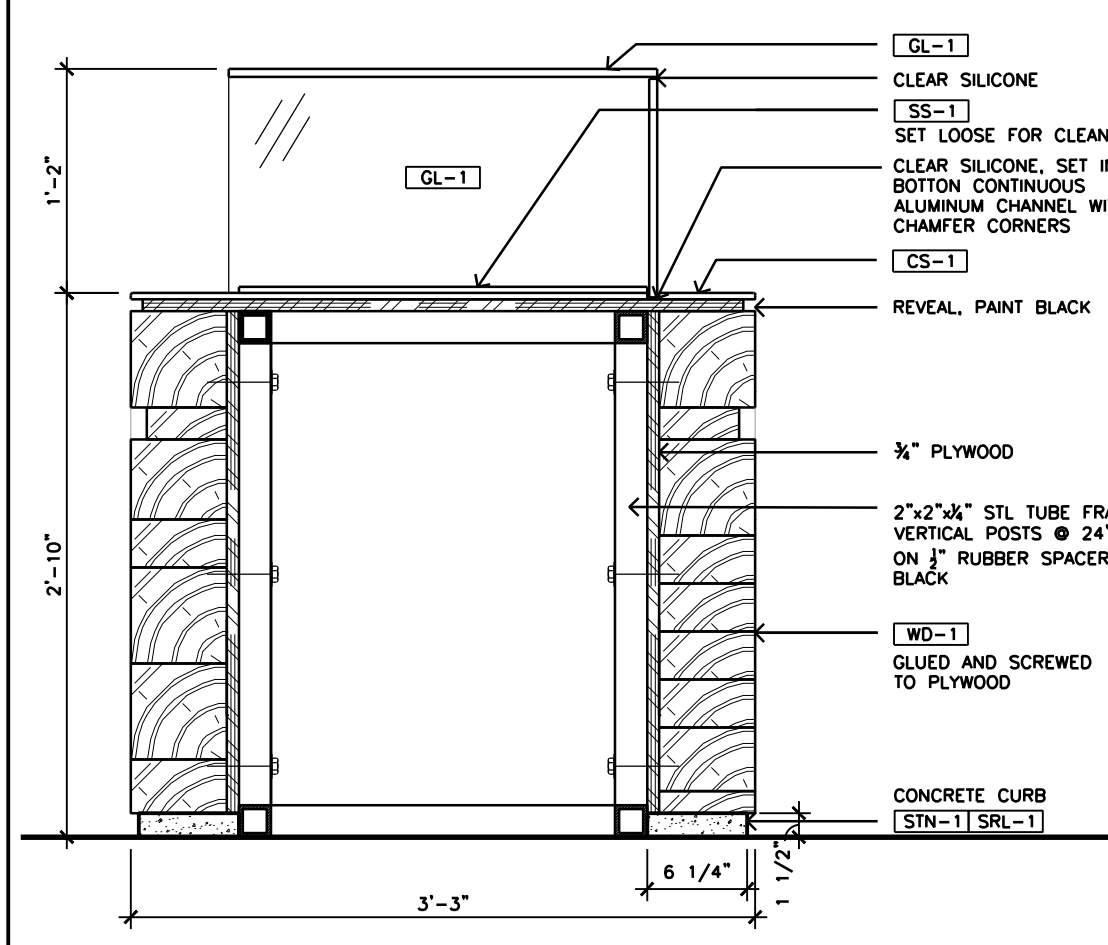


B/A

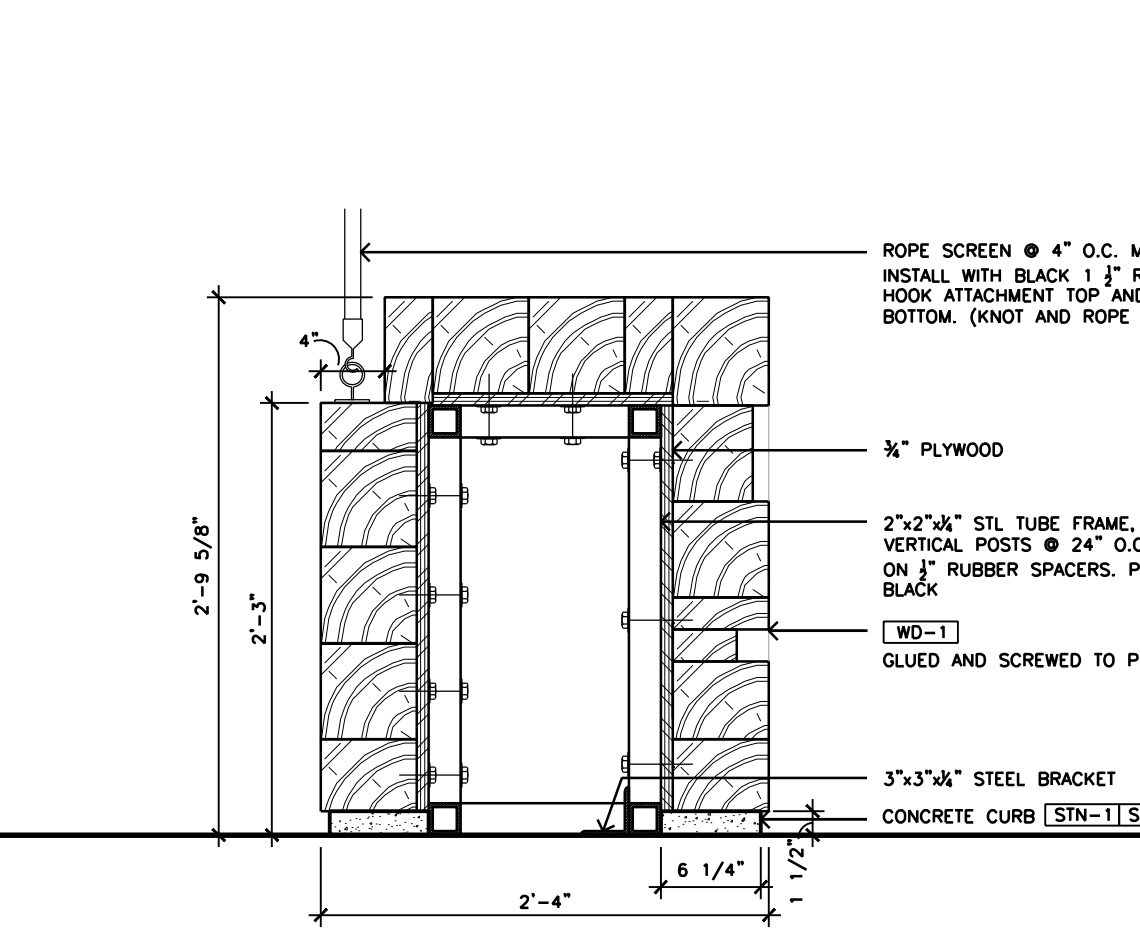
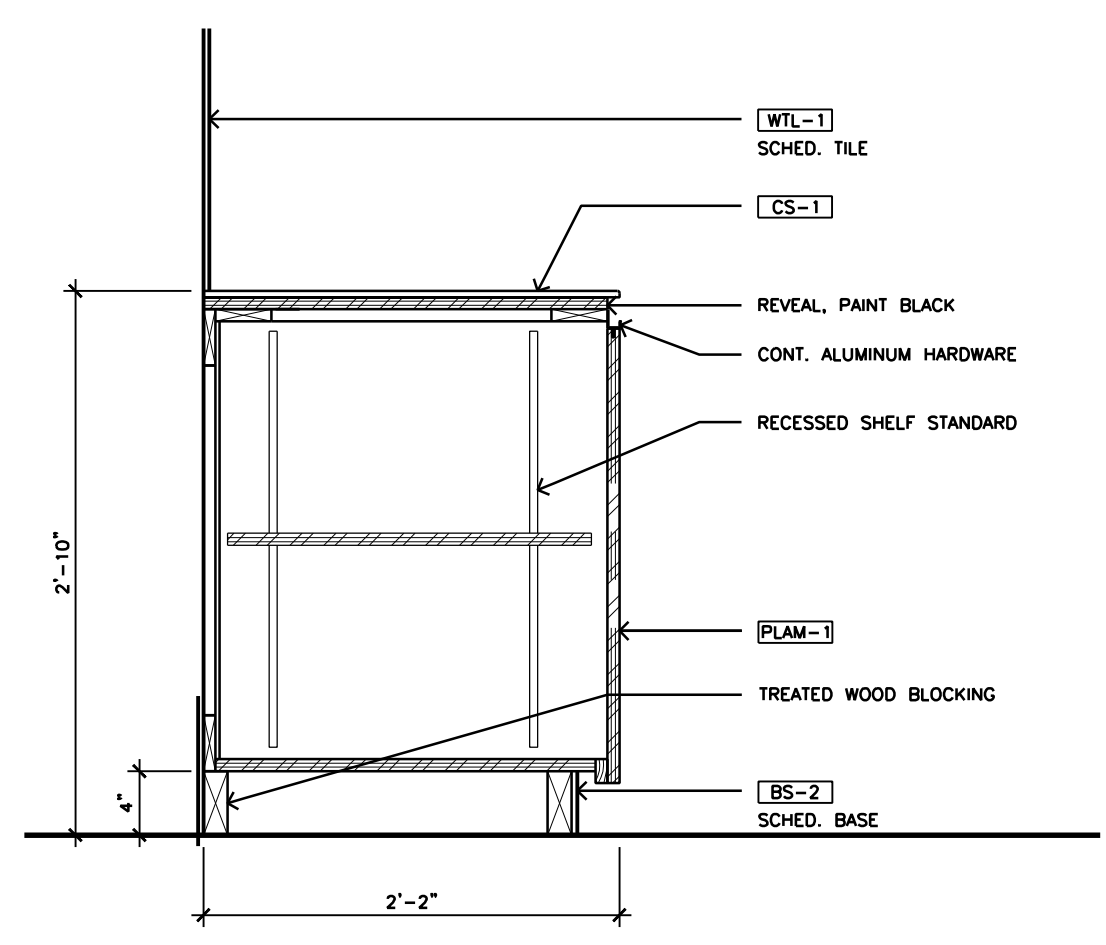
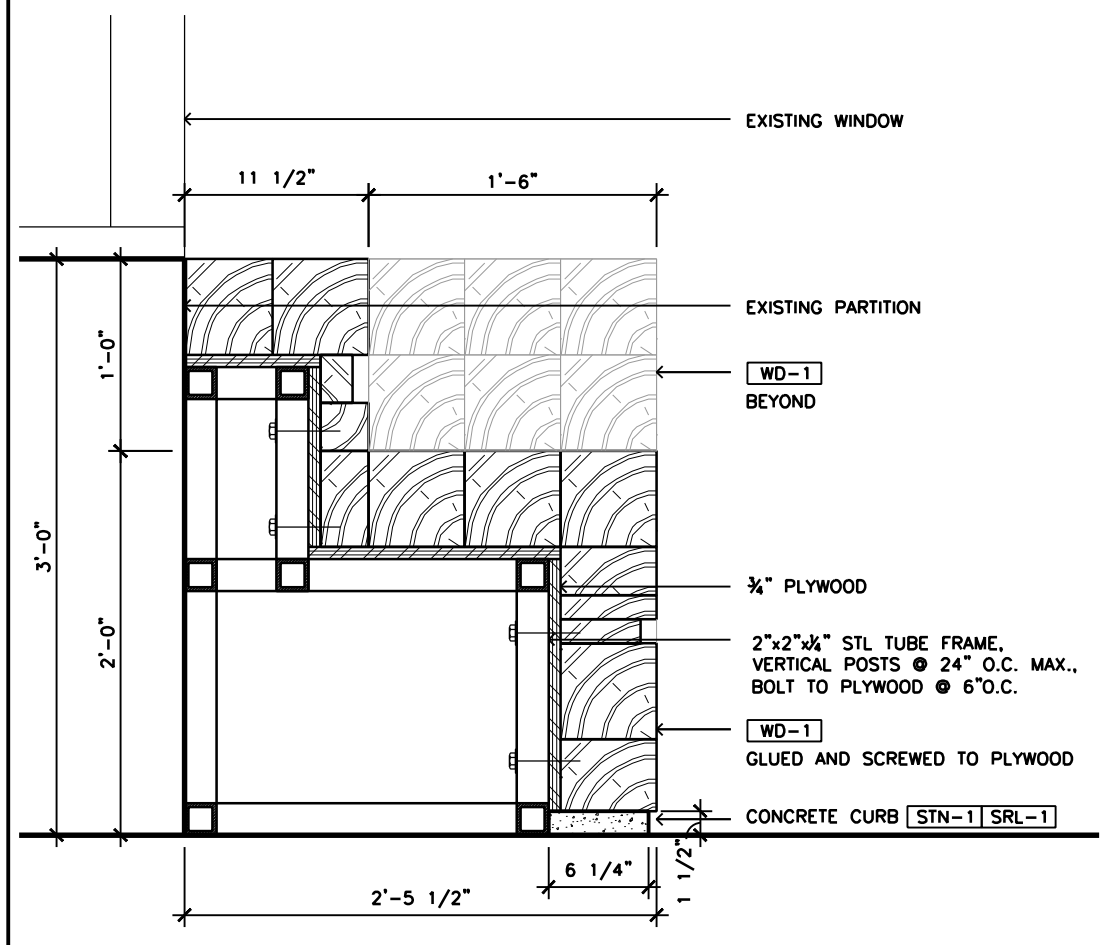
**BRAVE / ARCHITECTURE**  
 4617 Montrose Blvd., Suite C.230  
 Houston, Texas 77006  
 Voice: 713.524.5858  
 Fax: 713.524.5868  
 studio@bravearchitecture.com  
 Contact: Silvana Micolich  
 smicolich@bravearchitecture.com



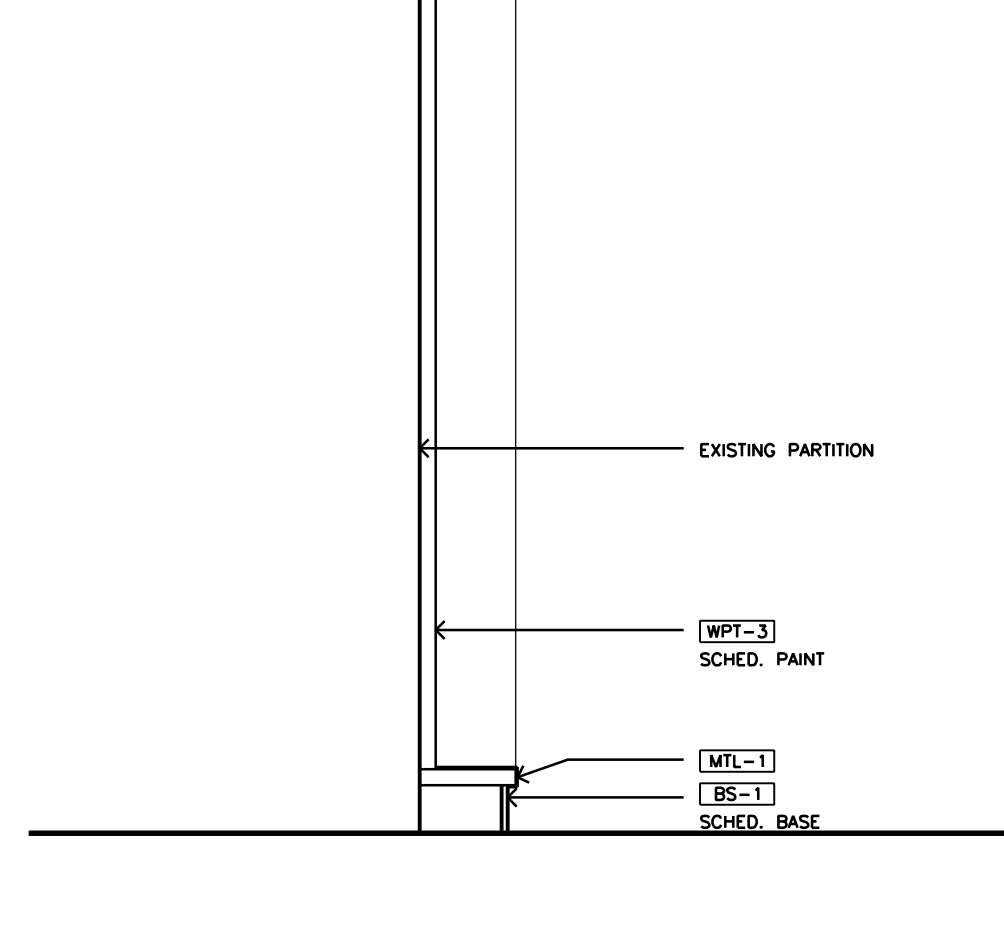
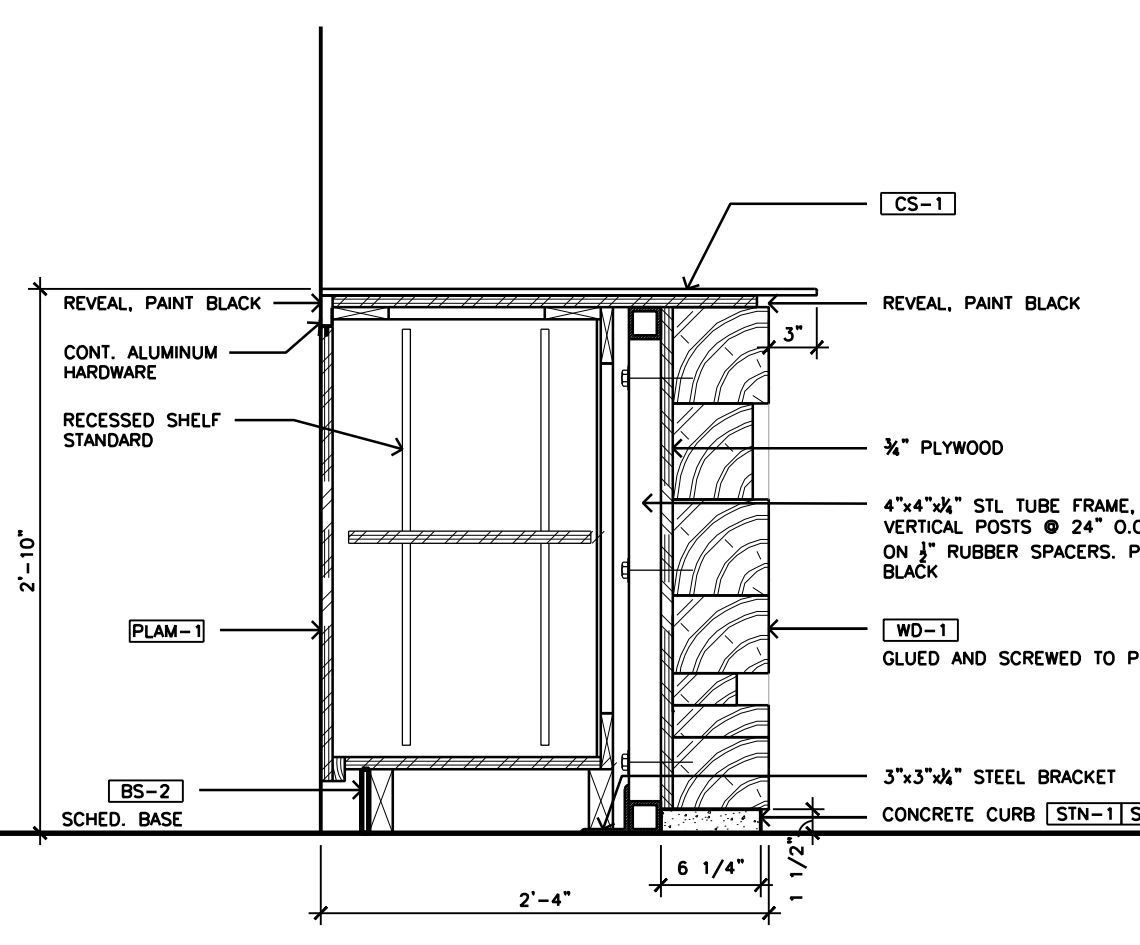
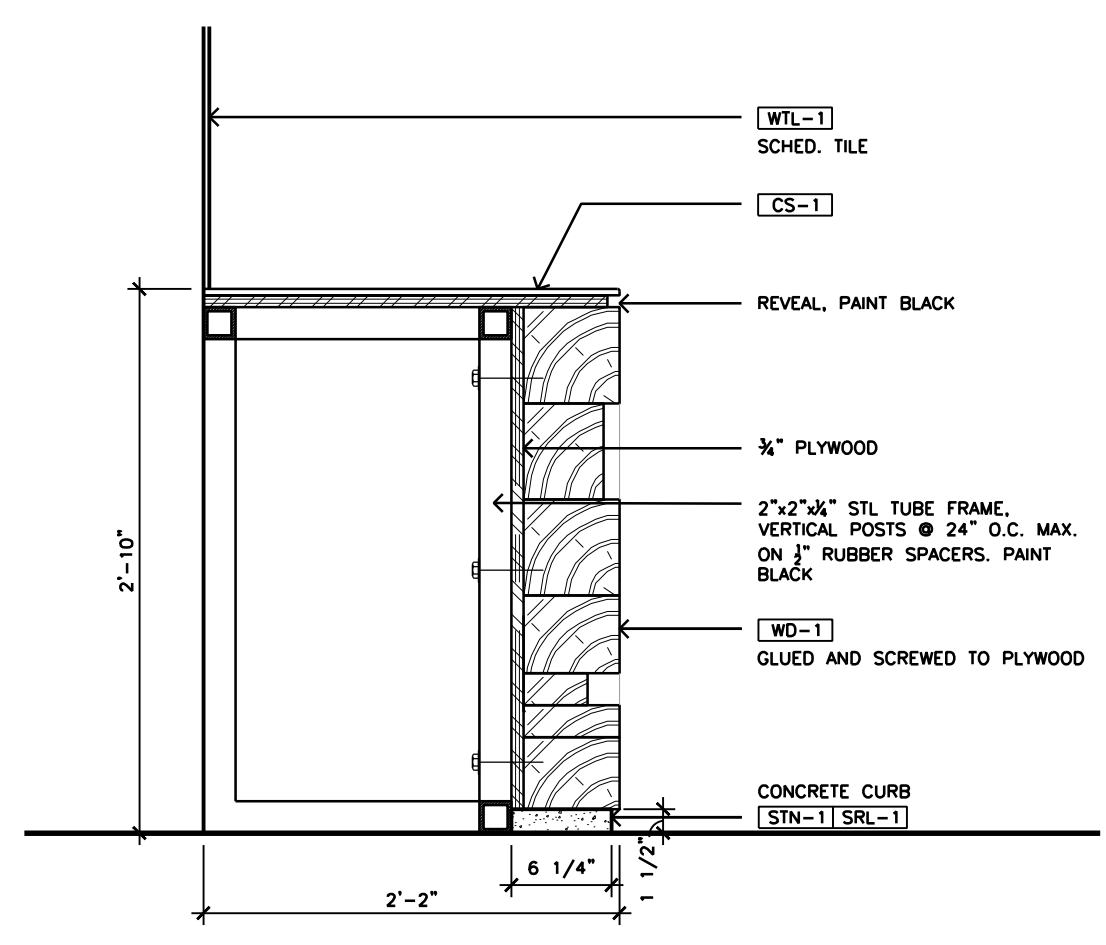
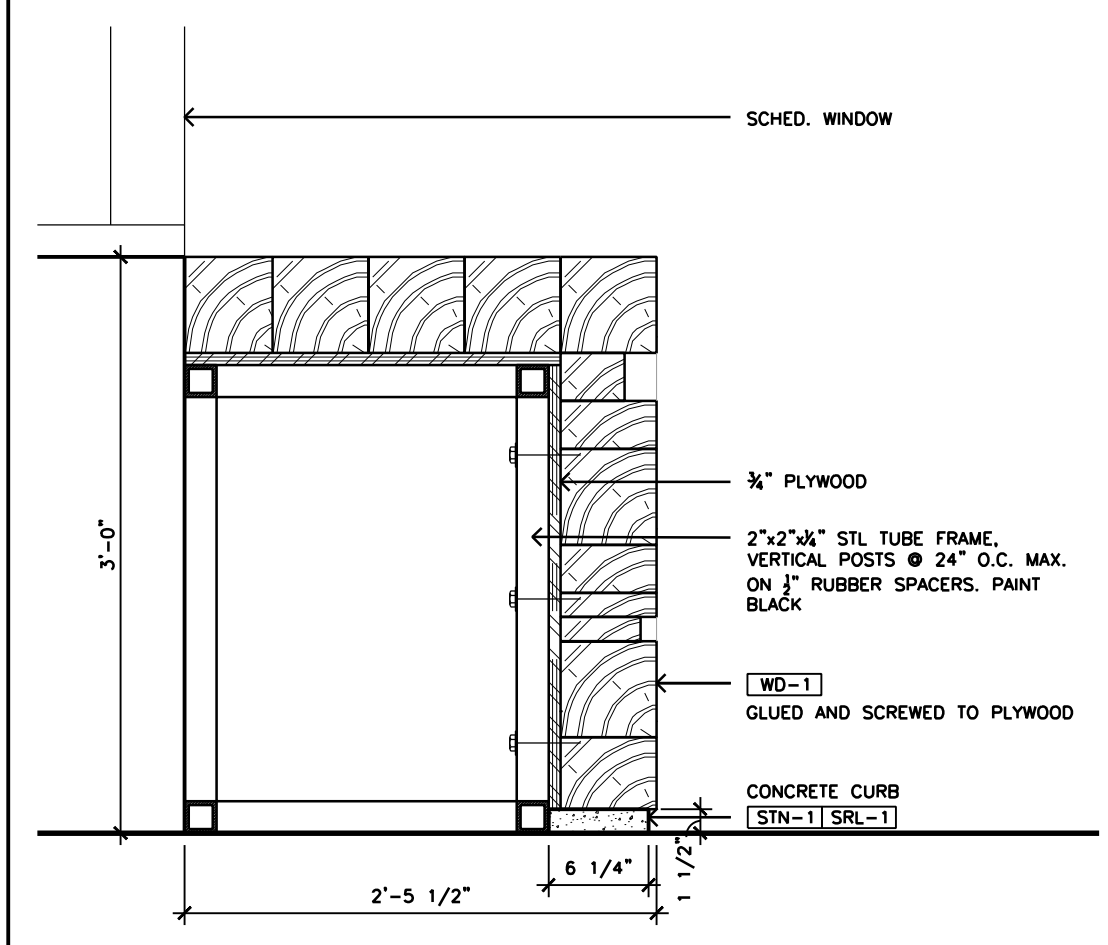
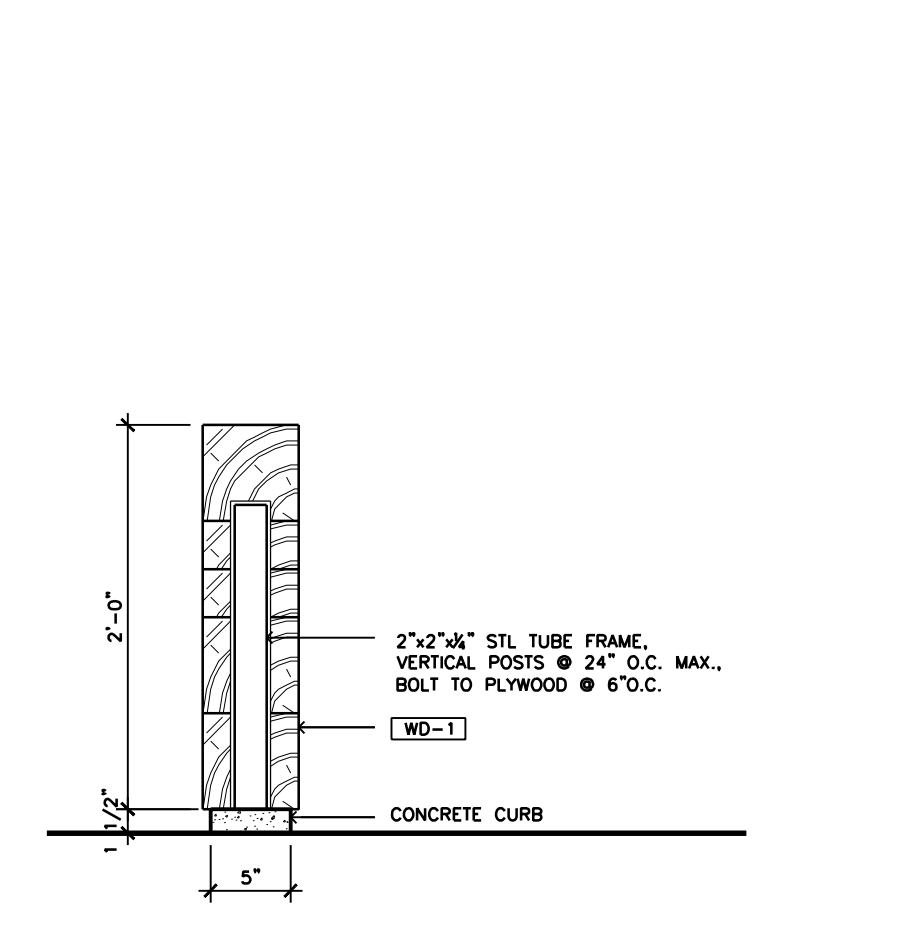
XXX N.T.S. 12 MILLWORK DETAIL 1"=1'-0" 8 XXX N.T.S. 4



XXX N.T.S. 19 MILLWORK DETAIL 1"=1'-0" 15 MILLWORK DETAIL 1"=1'-0" 11 MILLWORK DETAIL 1"=1'-0" 7



XXX N.T.S. 18 MILLWORK DETAIL 1"=1'-0" 14 MILLWORK DETAIL 1"=1'-0" 10 MILLWORK DETAIL 1"=1'-0" 6



MILLWORK DETAIL 1"=1'-0" 17 MILLWORK DETAIL 1"=1'-0" 13 MILLWORK DETAIL 1"=1'-0" 9 MILLWORK DETAIL 1"=1'-0" 5 MILLWORK DETAIL 1"=1'-0" 1

Consultants:  
 MEP:  
 Collaborative Engineering Group  
 8904 Fairbanks N. Houston Suite 201  
 Houston, TX 77064  
 T: 281.598.1170  
 F: 281.598.1130

**SUNSET COFFEE**  
 1019 Commerce St.  
 Houston, TX 77002

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Issue:  
 2016.2.17 OWNER FINAL REVIEW  
 2016.2.23 PERMIT

B/A Project No.: 15137  
 Drawn By: MM  
 Checked By: SM  
 Date:  
 Scale: AS NOTED

**MILWORK DETAILS**

**A.711**



Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

**SUNSET COFFEE**

1019 Commerce St.  
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ISSUE:

2016.2.17 OWNER FINAL REVIEW  
2016.2.23 PERMIT

B/A Project No.: 15137  
Drawn By: MM  
Checked By: SM  
Date:  
Scale: AS NOTED

**CEILING DETAILS**

XXX	N.T.S.	20	XXX	N.T.S.	16	XXX	N.T.S.
XXX	N.T.S.	19	XXX	N.T.S.	15	XXX	N.T.S.
XXX	N.T.S.	18	XXX	N.T.S.	14	XXX	N.T.S.
XXX	N.T.S.	17	XXX	N.T.S.	13	XXX	N.T.S.
						<p>SLAT CEILING DETAIL 1 1/2"=1'-0" 6</p> <p>GENERAL NOTES</p> <p>RCP1. Refer to General sheets for typical graphic, symbols, abbreviation index, and "Master Keynote" list.</p> <p>RCP2. Refer to interior elevations for furred down heights U.N.O.</p> <p>RCP3. Center lay-in acoustical ceiling system in each room with equal tile dimensions on opposite walls unless otherwise noted. Notify architect if any tile abutting the partition is less than 6" in width. Secondary wall angles to support "short" runs will not be accepted.</p> <p>RCP4. In lay-in acoustical ceilings locate all MEP items not including supply/return air grilles, emergency lighting, sprinkler heads, etc. in center of tile unless otherwise noted.</p> <p>RCP5. In gypsum board ceilings locate all MEP emergency lighting, sprinkler heads in center of space and equal distant apart from each other unless otherwise noted.</p> <p>RCP6. Coordinate all MEP ceiling and access panels not shown on the architectural construction documents with architect prior to installation.</p> <p>RCP7. In exposed ceilings evenly space all fixtures at or below exposed structure or MEP ductwork. Coordinate with MEP to provide lighting "around" final MEP layout to avoid "dark" spots.</p>	
XXX	N.T.S.	17	XXX	N.T.S.	17	XXX	N.T.S.



F. Brava  
4 MAY 2016

Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130

SUNSET COFFEE

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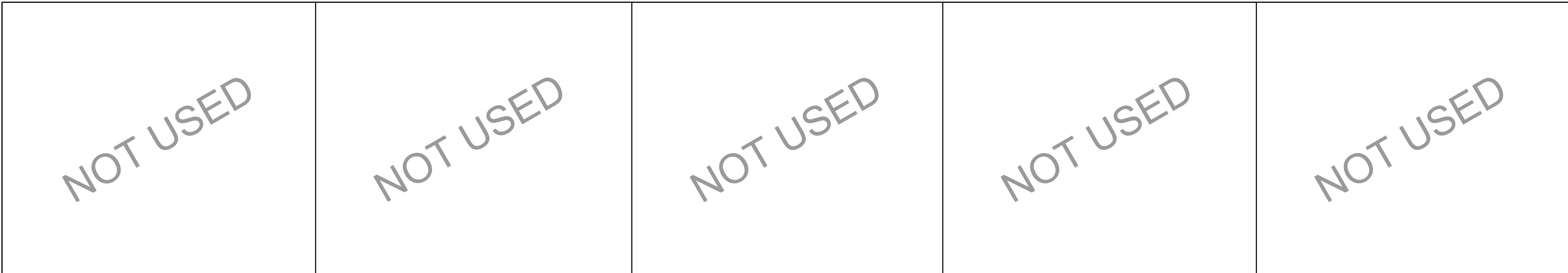
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Issue:

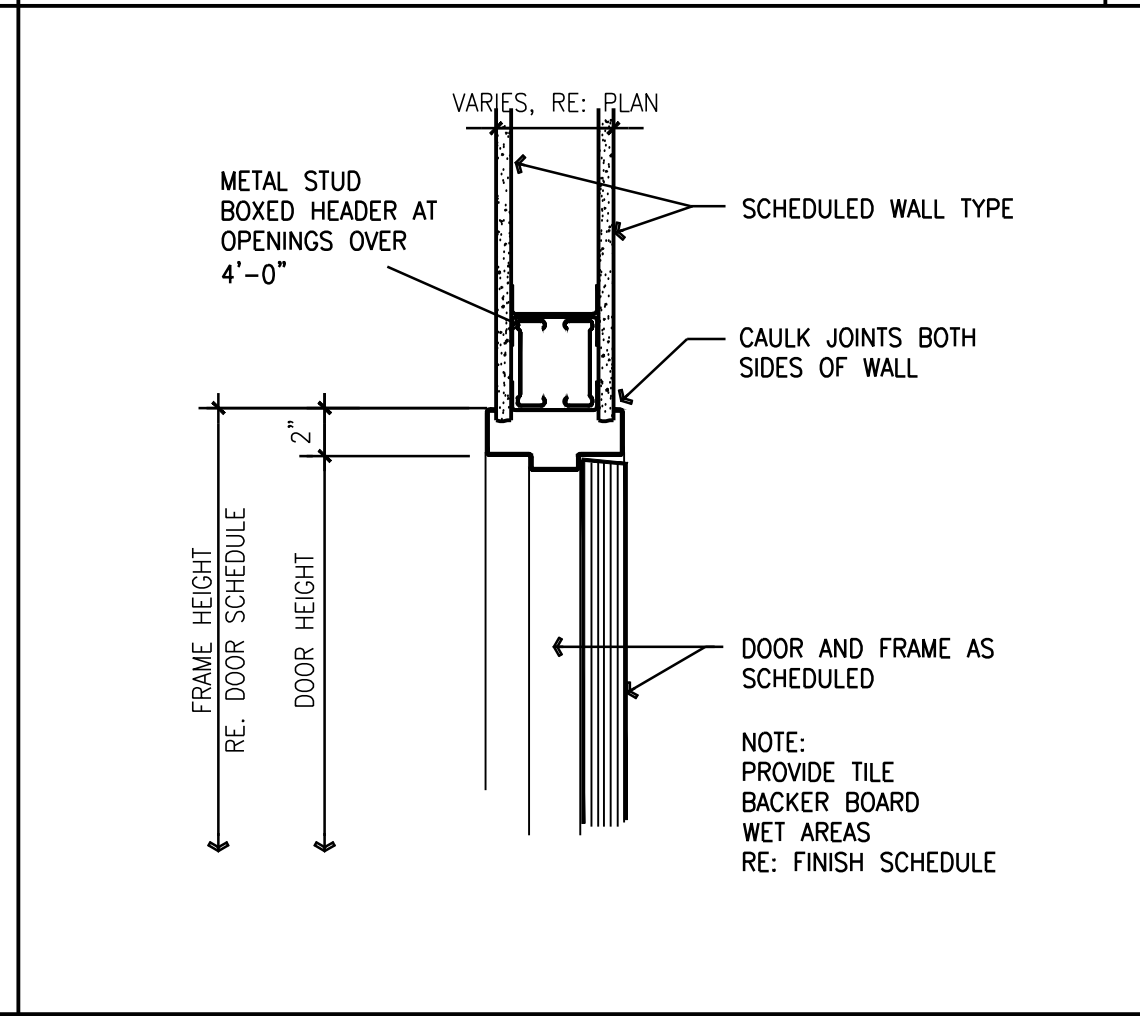
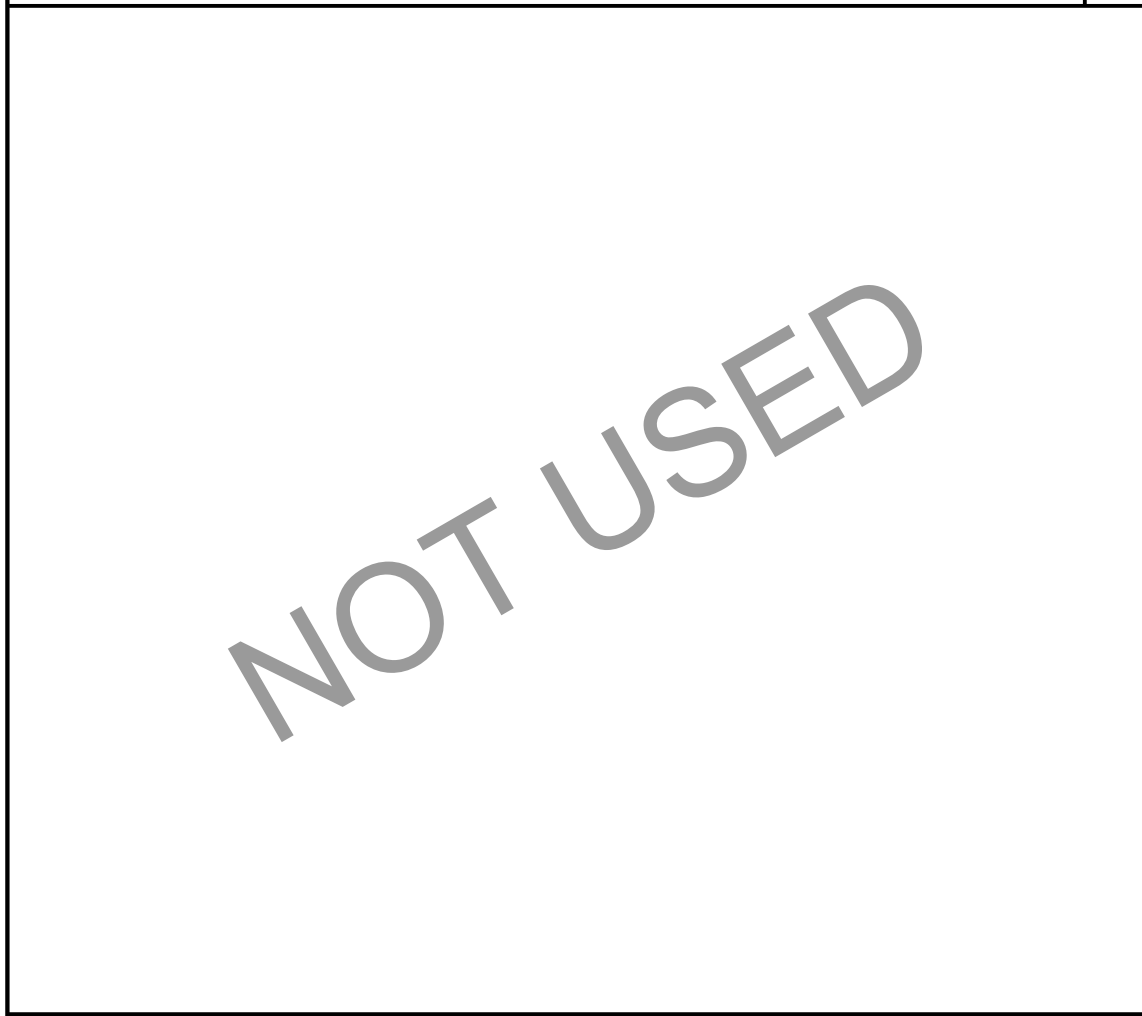
2016.2.17 OWNER FINAL REVIEW  
2016.2.23 PERMIT  
2016.5.4 PERMIT COMMENTS

B/A Project No.: 15137  
Drawn By: MM  
Checked By: SM  
Date:  
Scale: AS NOTED

DOOR TYPES, SCHEDULE & DETAILS



NOT USED | 20 NOT USED | 16 NOT USED | 12 NOT USED | 8 NOT USED | 4



20	20 MINUTE RATING	HC	HOLLOW CORE
A	CLASS A (3 HOUR)	HM	HOLLOW METAL
B	CLASS B (1 1/2 HOUR)	LE	LOW-E FLOAT GLASS
C	CLASS C (3/4 HOUR)	LG	LAMINATED GLASS
		LT	LOW-E TEMP. GLASS
AL	ALUMINUM	NL	NARROW LITE
BR	BRONZE	PF	PRE-FINISHED
		PL	PLASTIC LAMINATE
CA	CLEAR ANODIZED	PT	PAINTED
CB	CEMENT BOARD	SP	SPANDREL GLASS
CD	CEDAR	SS	STAINLESS STEEL
ED	ELEVATOR DOOR	ST	STAINED
ET	ETCHED	STL	STEEL
FG	FULL GLAZED	THR	THRESHOLD
FR	FROSTED	W	WIRED
FT	GLASS - FROSTED & TEMP.	WD	WOOD
GL	GLASS - FLOAT, CLEAR	WSTR	WEATHER STRIP
GR	GLASS-RATED	WDHC	WOOD HOLLOW CORE
GT	GLASS - TEMPERED, CLEAR	WDC	WOOD SOLID CORE
GSTL	GALVANIZED STEEL		

HW SET: 01  
DOOR NUMBERS: D.002  
EACH TO HAVE:  
4 EA HINGE  
1 EA MULTI-FUNCTION LOCK  
1 EA MORTISE CYLINDER  
1 EA HOLDER/STOP  
1 EA KICK PLATE  
4 EA SILENCER

5BB1 4.5 X 4.5	626 IVE
70-MLB205 LP	626 SAR
1E74 X RP3	626 BES
690 SERIES	SAR
8400 10" X 2" LDW	630 IVE
SR 64	GRY IVE

HW SET: 02  
DOOR NUMBERS: D.003  
EACH TO HAVE:  
4 EA HINGE  
1 EA MULTI-FUNCTION LOCK  
1 EA MORTISE CYLINDER  
1 EA HOLDER/STOP  
1 EA KICK PLATE  
4 EA SILENCER

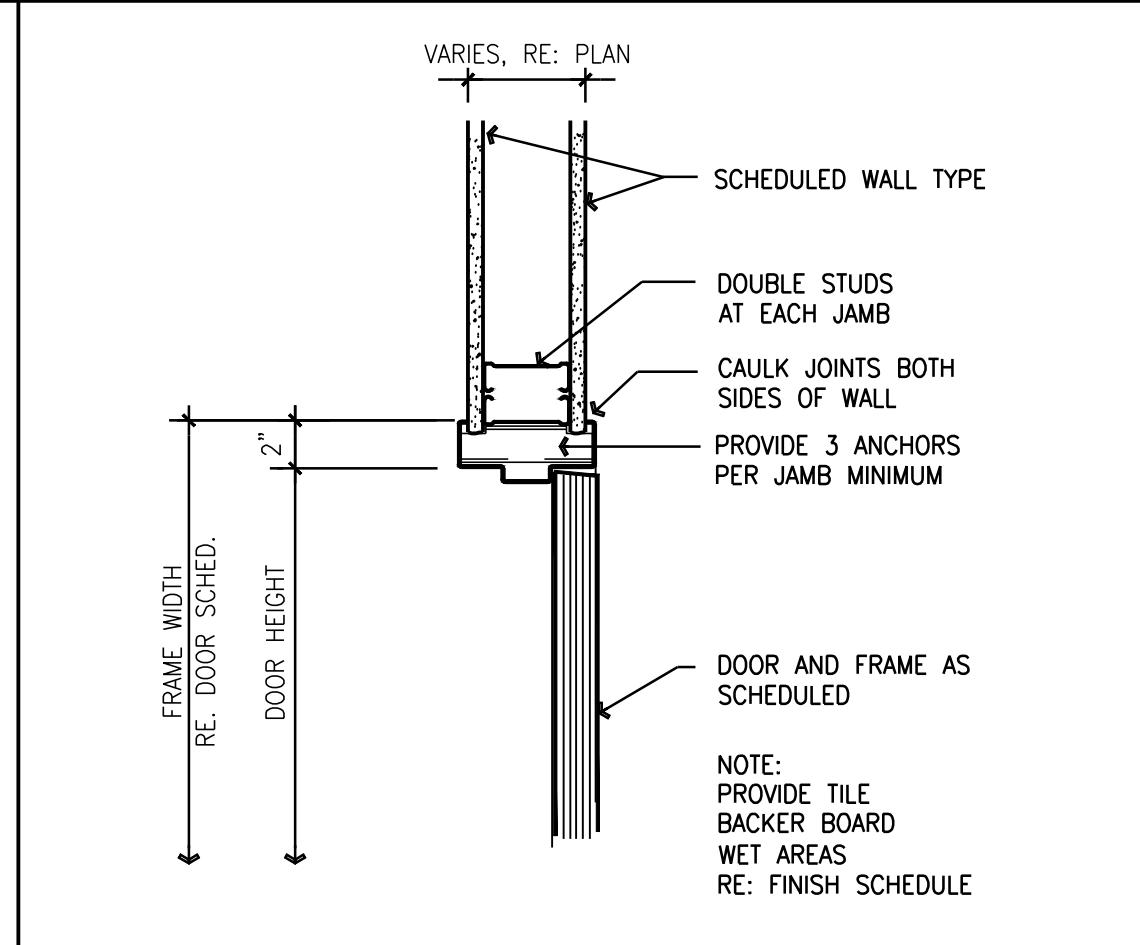
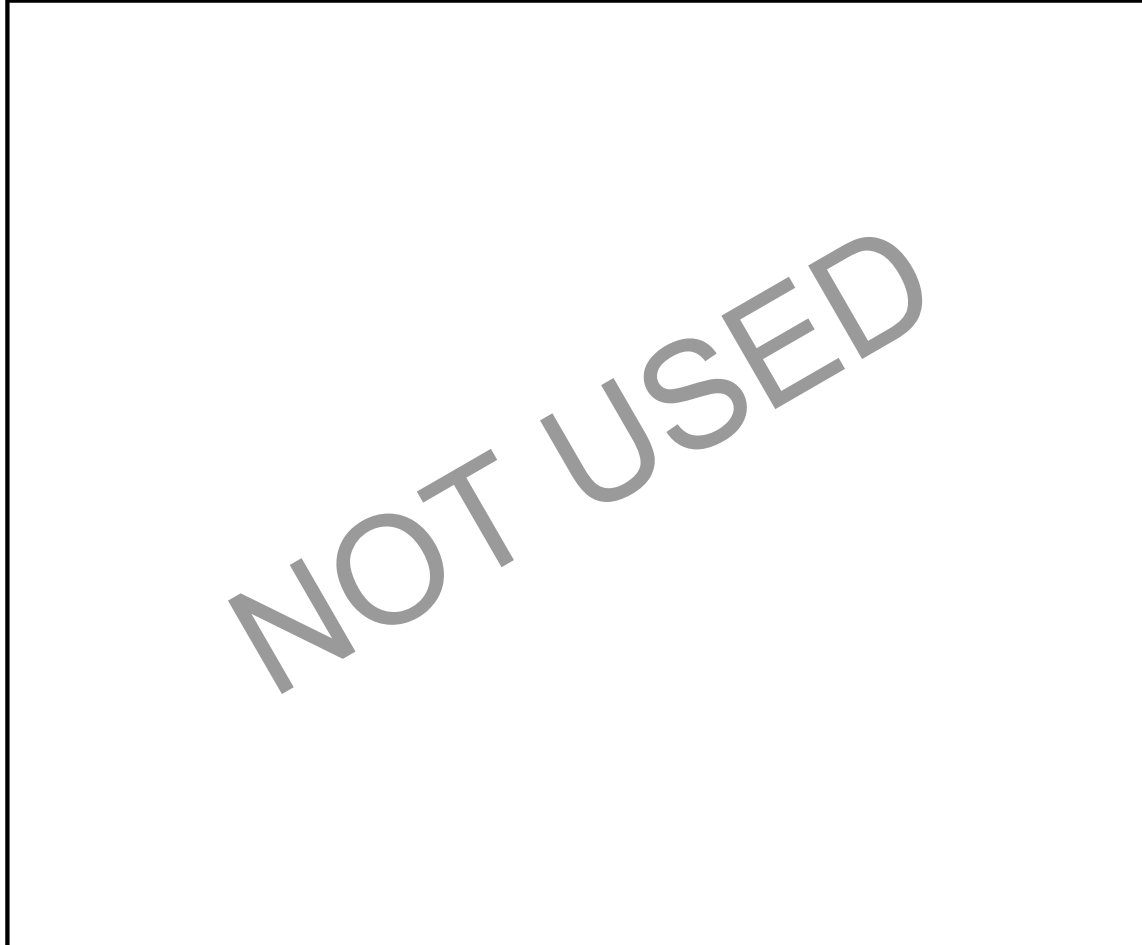
5BB1 4.5 X 4.5	626 IVE
70-MLB205 LP	626 SAR
1E74 X RP3	626 BES
690 SERIES	SAR
8400 10" X 2" LDW	630 IVE
SR 64	GRY IVE

ALL LOCKS TO RECEIVE SEVEN PIN CORE LOCKING FUNCTION. GC TO COORDINATE WITH OWNER.

HW SET: 03  
DOOR NUMBERS: D.004  
EACH TO HAVE:  
4 EA HINGE  
1 EA CLOSER  
1 EA KICK PLATE  
1 EA PUSH PLATE  
1 EA PULL PLATE  
4 EA SILENCER

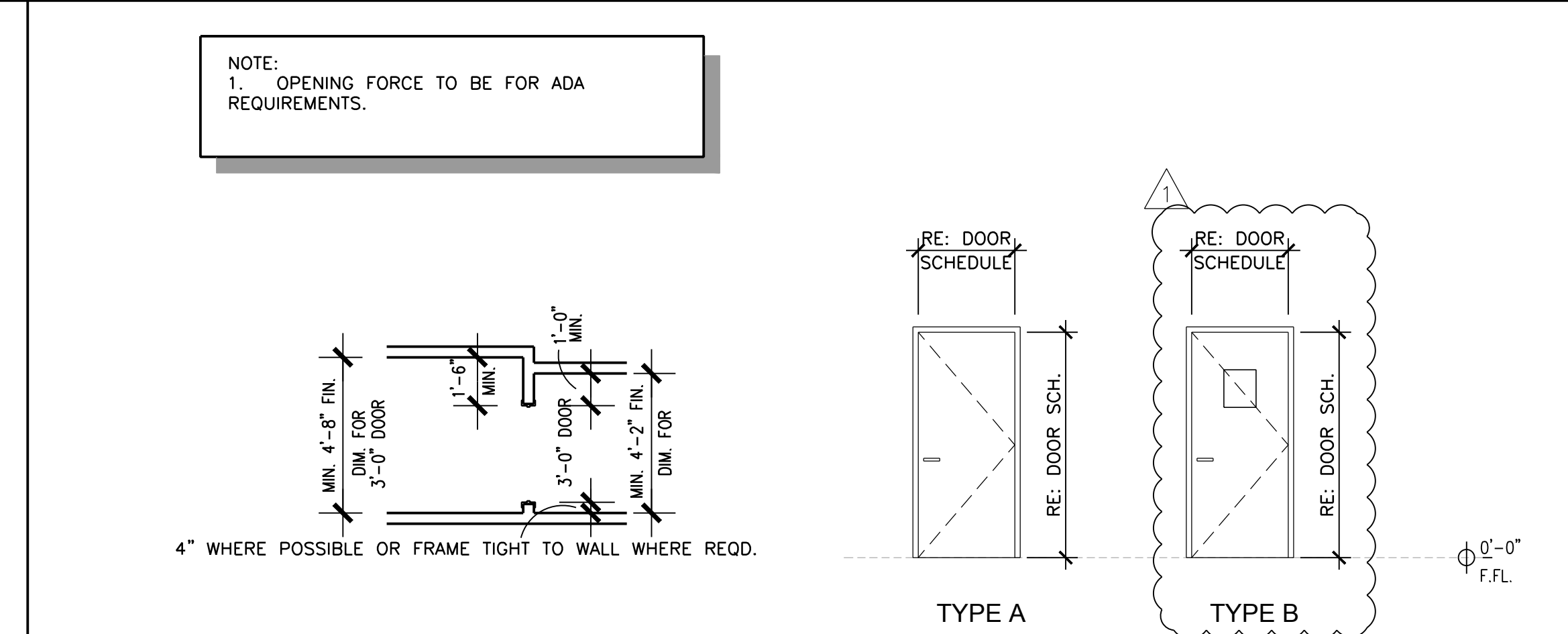
5BB1 4.5 X 4.5	626 IVE
1460 SERIES	LCN
8400 10" X 2" LDW	630 IVE
8200 6"x16"	630 IVE
8300 6"x16"	630 IVE
8102 10" CENTERS	630 IVE
SR 64	GRY IVE

NOT USED | 19 TYP. HM DOOR HEAD | 15 DOOR SCHEDULE ABBREVIATIONS | 11 DOOR HARDWARE SCHEDULE | 3

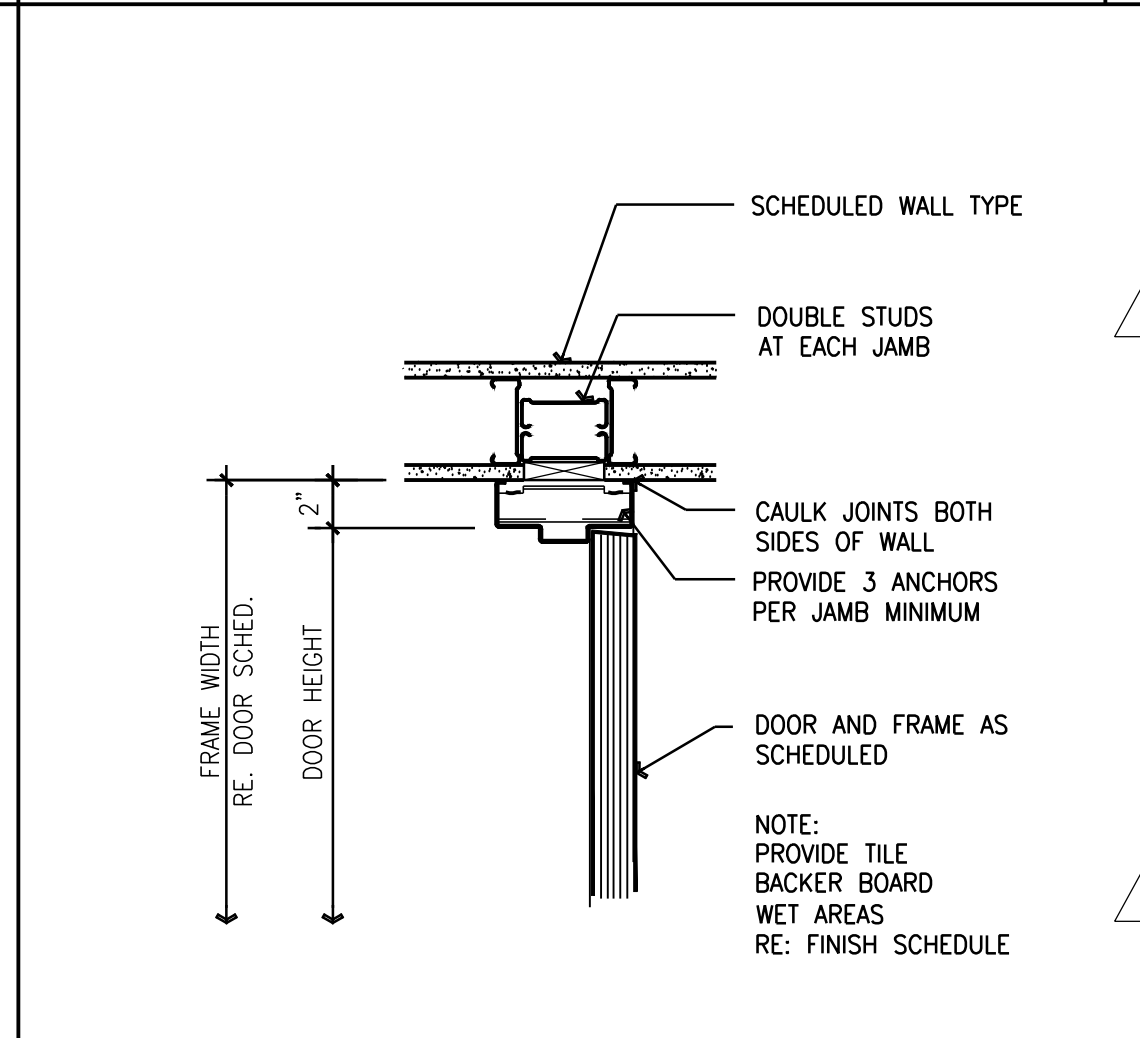
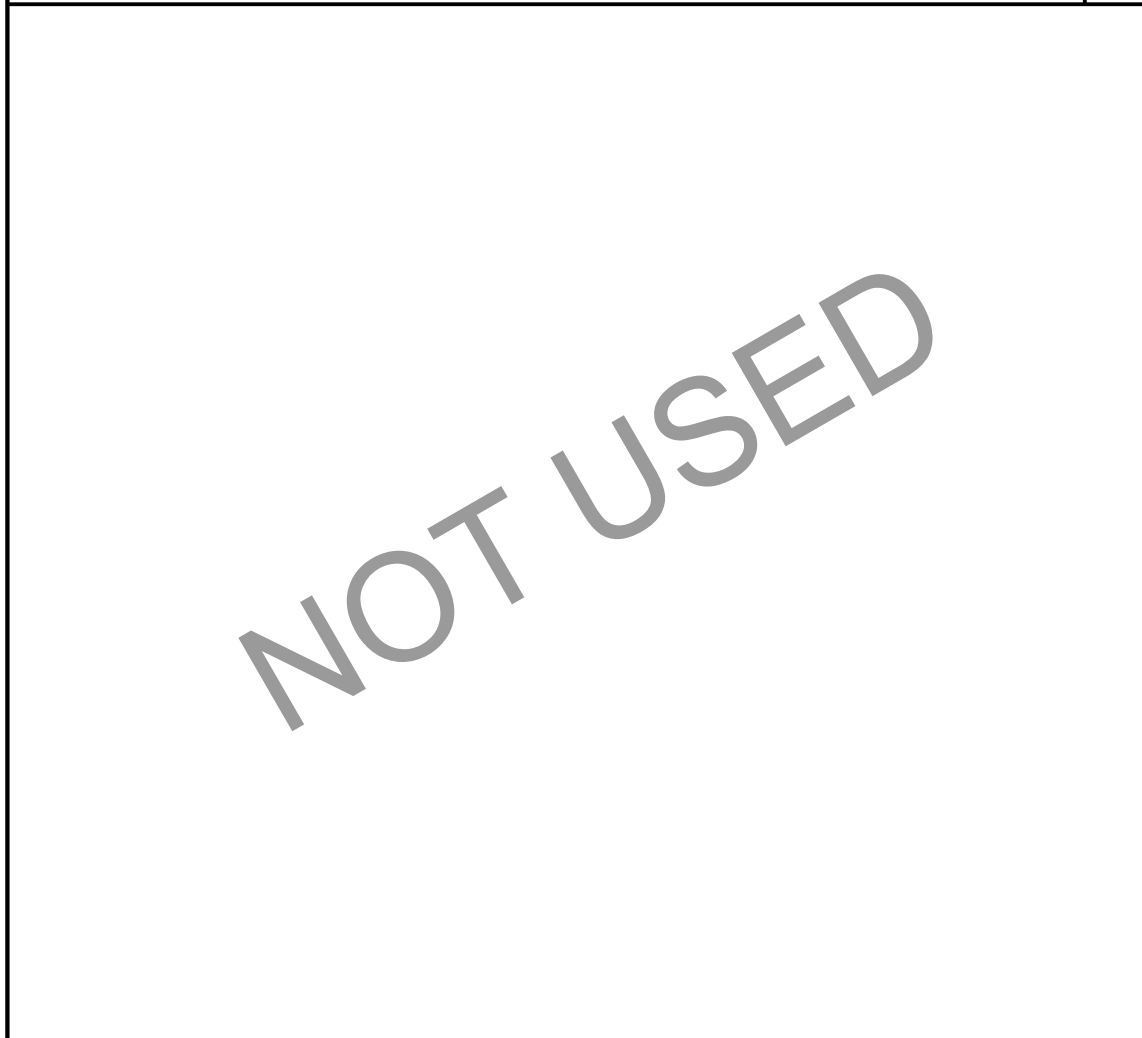


DOOR SCHEDULE ABBREVIATIONS

DOOR MARK	DOOR LOCATION	DOOR SIZE (W x H)	DOOR ELEV.	DOOR MAT.	DOOR FINISH	FRAME SIZE (W x H)	RATING	FRAME MATL.	FRAME FINISH	HEAD	JAMB	SILL	HW SET	GLASS TYPE	NOTE(S)
D.001	WORK ROOM	EXISTING	-	-	-	-	60 MIN	-	-	-	-	-	EXIST.	-	RELOCATE EXISTING
D.002	DISPLAY	3'-0" x 7'-0"	A	HM	D.PT.1	3'-4" x 7'-2"	-	HM	D.PT.1	15/A.820	14/A.820	-	01	-	MATCH EXISTING DOORS
D.003	BAR	3'-0" x 7'-0"	A	HM	D.PT.1	3'-4" x 7'-2"	-	HM	D.PT.1	15/A.820	14/A.820	-	02	-	MATCH EXISTING DOORS
D.004	CORRIDOR	3'-0" x 7'-0"	B	HM	D.PT.1	3'-4" x 7'-2"	-	HM	D.PT.1	15/A.820	14/A.820	-	03	GL.1	MATCH EXISTING DOORS



NOT USED | 18 TYP. HM DOOR JAMB | 14 DOOR TYPES, HEIGHTS, & CLEARANCES | N.T.S. | 2



DOOR SCHEDULE

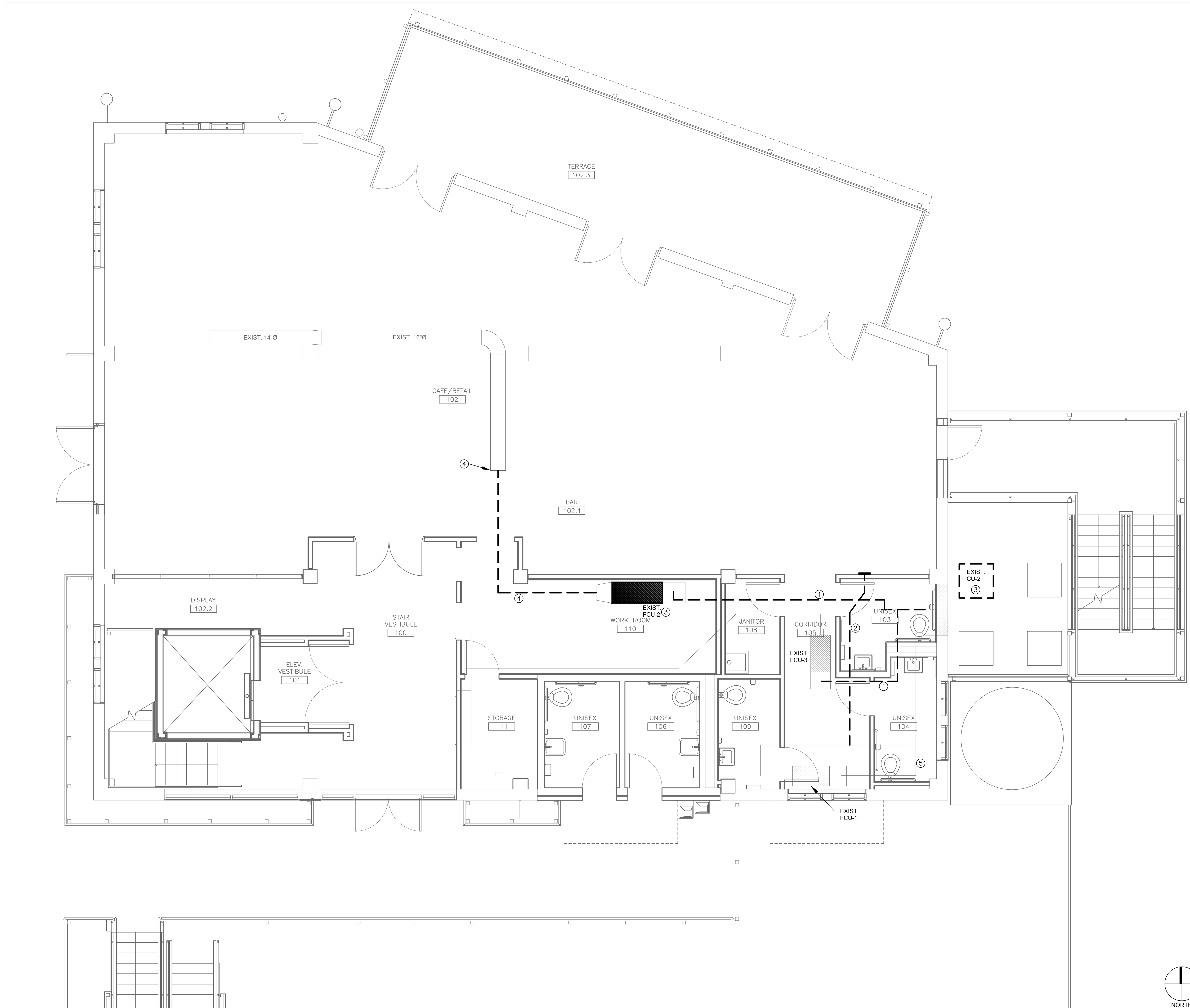
DOOR MARK	DOOR LOCATION	DOOR SIZE (W x H)	DOOR ELEV.	DOOR MAT.	DOOR FINISH	FRAME SIZE (W x H)	RATING	FRAME MATL.	FRAME FINISH	HEAD	JAMB	SILL	HW SET	GLASS TYPE	NOTE(S)
D.001	WORK ROOM	EXISTING	-	-	-	-	60 MIN	-	-	-	-	-	EXIST.	-	RELOCATE EXISTING
D.002	DISPLAY	3'-0" x 7'-0"	A	HM	D.PT.1	3'-4" x 7'-2"	-	HM	D.PT.1	15/A.820	14/A.820	-	01	-	MATCH EXISTING DOORS
D.003	BAR	3'-0" x 7'-0"	A	HM	D.PT.1	3'-4" x 7'-2"	-	HM	D.PT.1	15/A.820	14/A.820	-	02	-	MATCH EXISTING DOORS
D.004	CORRIDOR	3'-0" x 7'-0"	B	HM	D.PT.1	3'-4" x 7'-2"	-	HM	D.PT.1	15/A.820	14/A.820	-	03	GL.1	MATCH EXISTING DOORS

GL-1: 1/4" TEMPERED CLEAR GLASS

NOT USED | 17 TYP. HM DOOR JAMB | 13 DOOR AND FRAME SCHEDULE | 1

NOT USED | 17 TYP. HM DOOR JAMB | 13 DOOR AND FRAME SCHEDULE | 1



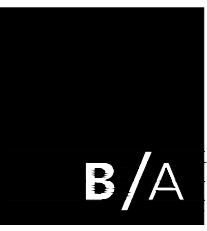


GENERAL NOTES

GENERAL NOTES

# KEY NOTES

1. REMOVE EXISTING OUTSIDE AIR DUCT, REMOVE EXISTING SUPPLY AIR DUCTWORK AND ASSOCIATED SIDEWALL GRILLE.
2. REMOVE EXISTING FAN COIL UNIT AND ASSOCIATED CONDENSING UNIT. REMOVE ASSOCIATED REFRIGERANT PIPING. OWNER SHALL RETAIN SALVAGE RIGHTS TO DEMOLISHED EQUIPMENT. CONDENSATE PIPING IS EXISTING TO BE REUSED.
3. REMOVE EXISTING SUPPLY AIR DUCTWORK FROM FAN COIL UNIT CONNECTION TO THIS POINT AS INDICATED.
4. EXISTING OUTSIDE AIR DUCTWORK TO REMAIN.



**BRAVE / ARCHITECTURE**

4617 Montrose Blvd., Suite C.230  
 Houston, Texas 77006  
 Voice: 713.524.5858  
 Fax: 713.524.5868  
 studio@bravearchitecture.com  
 Contact: Silvana Micolich  
 smicolich@bravearchitecture.com



Consultants:

MEP:

Collaborative Engineering Group  
 8904 Fairbanks N. Houston Suite 201  
 Houston, TX 77064  
 T: 281.598.1170  
 F: 281.598.1130



8904 Fairbanks N. Houston, Suite 201  
 Houston, Texas 77064  
 281.598.1170  
 www.collaborative-engr.com  
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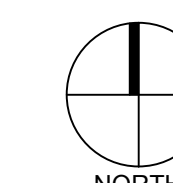
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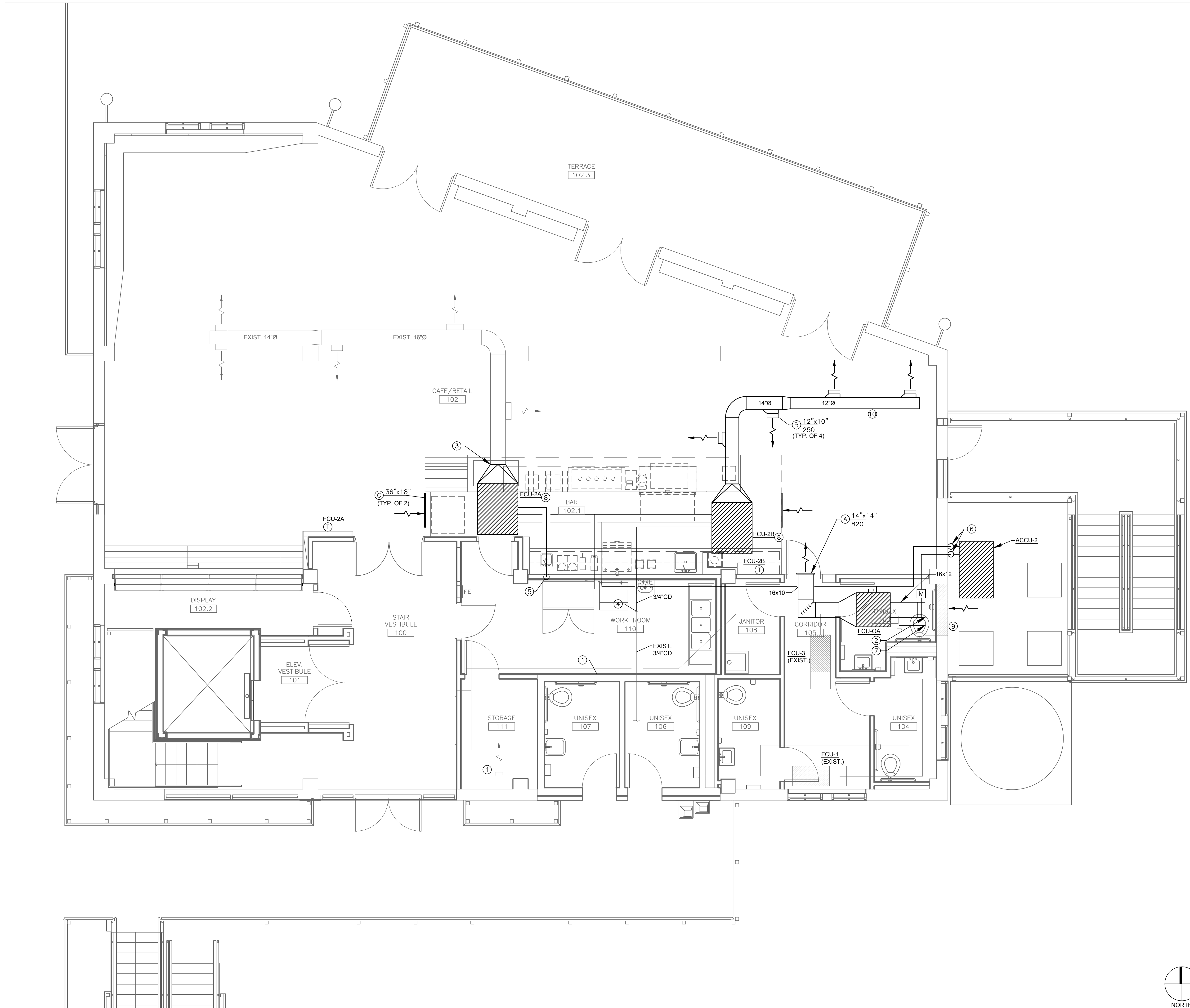
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**MECHANICAL DEMOLITION FLOOR PLAN**





GENERAL NOTES

KEY NOTES

1. BALANCE EXISTING SUPPLY AIR GRILLE TO 175 CFM. BALANCE EXISTING FCU-1 TO 845 CFM.
2. CONNECT NEW 16"x10" OUTSIDE AIR DUCT TO EXISTING OUTSIDE AIR PLENUM.
3. CONNECT NEW FAN COIL UNIT TO EXISTING 16"Ø SUPPLY DUCT.
4. CONNECT NEW 3/4" CONDENSATE PIPE TO EXISTING 3/4" CONDENSATE.
5. ROUTE 3/4" CONDENSATE DOWN WALL TO TAIL PIECE OF DRAIN PIPE.
6. ROUTE REFRIGERANT PIPING FROM CONDENSING UNIT UP TO ABOVE THE CEILING THEN TURN AND ROUTE TO FAN COIL UNITS.
7. CONNECT EXISTING 6"Ø OUTSIDE AIR DUCT SERVING FCU-1 TO EXISTING OUTSIDE AIR PLENUM WITH BALANCING DAMPER.
8. INSTALL FAN COIL UNIT AS HIGH AS POSSIBLE TIGHT TO STRUCTURE.
9. LOUVER IS EXISTING TO REMAIN.
10. INTERNALLY LINED DUCTWORK. REFER TO ARCHITECT FOR FINISH OF DUCTWORK.

**B/A**  
**BRAVE / ARCHITECTURE**  
 4617 Montrose Blvd., Suite C.230  
 Houston, Texas 77006  
 Voice: 713.524.5858  
 Fax: 713.524.5868  
 studio@bravearchitecture.com  
 Contact: Silvana Micolich  
 smicolich@bravearchitecture.com



Consultants:  
 MEP:  
 Collaborative Engineering Group  
 8904 Fairbanks N. Houston Suite 201  
 Houston, TX 77064  
 T: 281.598.1170  
 F: 281.598.1130



**SUNSET COFFEE**  
 1019 Commerce St.  
 Houston, TX 77002

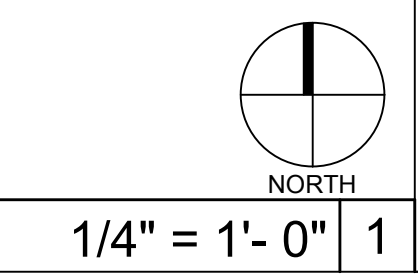
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PERMIT COMMENTS	07.06.2016

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**MECHANICAL FLOOR PLAN**  
**M1.01**

MECHANICAL FLOOR PLAN





## FAN COIL UNIT SCHEDULE

EQUIPMENT NO.	SERVICE	SUPPLY CFM	FAN MOTOR HP	FAN MOTOR ESP	ELECTRICAL V/ø/Hz	COOLING COIL MBH (TH/SH)	COOLING COIL EAT (DB/WB)	COOLING COIL NO. OF ROWS	HEATING CAPACITY (MBH)	MANUFACTURER AND MODEL	NOTES
FCU-2A	CAFE	1000	1/2	0.5	208/1/60	30.9/23.4	76.1/63.5	1	-	DAIKIN FXMQ36PBVJU	1-3,6
FCU-2B	CAFE	1000	1/2	0.5	208/1/60	30.9/23.4	76.1/63.5	1	-	DAIKIN FXMQ36PBVJU	1-3,6
FCU-0A	CAFE	950	1/2	0.5	208/1/60	72	105/97.02	2	38.6	DAIKIN FXMQ72MFVJU	1-6

**NOTES:**

1. PROVIDE MERV 8 FILTERS WITH FILTER HOUSING PROVIDED BY MECHANICAL CONTRACTOR.
2. PROVIDE SINGLE POINT ELECTRICAL CONNECTION.
3. PROVIDE MODEL SPECIFIED OR APPROVED EQUAL.
4. PROVIDE UNIT WITH WRAP AROUND HEAT PIPE.
5. INTERLOCK FAN COIL UNIT WITH TIMESWITCH. UNIT SHALL ENERGIZE "ON" DURING OCCUPIED HOURS AND DE-ENERGIZE "OFF" DURING UNOCCUPIED HOURS.
6. PROVIDE FLOAT SWITCH IN CONDENSATE DRAIN PAN TO DE-ENERGIZE UNIT TO PREVENT OVERFLOW.

## AIR COOLED CONDENSING UNIT SCHEDULE

EQUIPMENT NO.	SERVICE	COOLING CAPACITY (TONS)	MIN EER (ACTUAL/ARI)	AMBIENT TEMP (°F)	ELECTRICAL V/ø/Hz	FANS	REFRIGERANT	MANUFACTURER AND MODEL	NOTES
ACCU-2	FCU-2A/2B	12	11.5	105	460/3/60	2	R410A	DAIKIN RXYQ144TYDN	1-3

**NOTES:**

1. PROVIDE THERMAL EXPANSION VALVE.
2. TEN YEAR WARRANTY.
3. PROVIDE MODEL SPECIFIED OR APPROVED EQUAL

## GRILLE - REGISTER - DIFFUSER SCHEDULE

NO.	SIZE	TYPE	MANUFACTURER AND MODEL	FINISH	DESCRIPTION	NOTES
A	AS SHOWN	GRILLE	TITUS 301FL	SEE NOTE 1	SINGLE DEFLECTION GRILLE, 3/4" BLADE SPACING, ALUMINUM CONSTRUCTION, WALL MOUNTING, BLADES PARALLEL IN LONG DIMENSION	1
B	AS SHOWN	GRILLE	TITUS 301FL	SEE NOTE 1	SINGLE DEFLECTION GRILLE, 3/4" BLADE SPACING, ALUMINUM CONSTRUCTION, DUCT MOUNTING, BLADES PARALLEL IN LONG DIMENSION	1
C	AS SHOWN	GRILLE	TITUS 355FL	SEE NOTE 1	3/4" BLADE SPACING, ALUMINUM CONSTRUCTION, 35 DEG. DEFLECTION, WALL MOUNTING, BLADES PARALLEL IN LONG DIMENSION	1

**NOTES:**

1. GRILLE COLOR TO MATCH SURROUNDING WALL OR MATCH DUCTWORK WHEN DUCTWORK/GRILLE ARE EXPOSED.

## OUTSIDE AIR CALCULATION

2012 UMC WITH CITY OF HOUSTON AMENDMENTS (TABLE 402.1)

ROOM	ZONE AREA	OUTDOOR AIR RATE CFM/SQ. FT.	CFM REQUIRED	COMMENTS
FCU-2A/2B				
CAFE/RETAIL	2221	0.18	400	
	7.5 CFM PER PERSON	60 PEOPLE	450	
		0.05		
		0.05		
TOTAL O.A. REQUIRED			850	950 CFM O.A. PROVIDED

**NOTE:**

OUTDOOR AIR REQUIREMENT FOR RESTROOMS PROVIDED BY TRANSFER AIR (TABLE 4-1, FOOTNOTE 4)

## DUCT & PIPING MATERIAL & INSULATION SCHEDULE

SYSTEM	DUCT/PIPING MATERIAL	INSULATION MATERIAL
SUPPLY & RETURN DUCT	GALVANIZED SHEET METAL LINER	JOHNS MANVILLE PERMACOTE LINACOUSTIC OR EQUAL, 1-1/2" THICK, 1-1/2 LB/CU FT., NFPA 25/50 FLAME SPREAD AND SMOKE DEVELOPED RATING. MINIMUM R-6 INSIDE AND R-8 OUTSIDE BUILDING ENVELOPE.
SUPPLY, RETURN & OUTSIDE AIR DUCT	GALVANIZED SHEET METAL DUCT WRAP	2" THICK, 1-1/2 LB/CU FT DENSITY FIBERGLASS FOIL-BACK, FLAME SPREAD RATING 25 OR LESS, SMOKE DEVELOPED RATING 50 OR LESS. MINIMUM R-6 INSIDE AND R-8 OUTSIDE BUILDING ENVELOPE.
REFRIGERANT PIPING	TYPE "L" HARD DRAWN COPPER	ARMAFLEX 1" THICKNESS MINIMUM FOR LIQUID LINE
CONDENSATE PIPING	TYPE "L" HARD DRAWN COPPER	ARMAFLEX 200 (25/50 RATED), 3/4" THICKNESS MINIMUM, THICKER IF REQUIRED TO PREVENT CONDENSATION AT 85°F AND 70% RELATIVE HUMIDITY

**NOTES:**

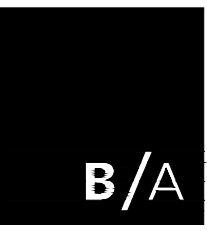
1. FIRST 20 FT OF SUPPLY AND RETURN AIR DUCTWORK DOWNSTREAM OF AIR HANDLING EQUIPMENT SHALL BE LINED. REMAINING DUCTWORK SHALL BE WRAPPED UNLESS OTHERWISE NOTED.
2. DUCT AND PLENUMS SHALL BE SEALED IN ACCORDANCE WITH THE MECHANICAL CODE AND SMACNA METHOD A.

## DUCT CONSTRUCTION MINIMUM SHEET METAL THICKNESS

RECTANGULAR DUCTS			
MAXIMUM SIZE (INCHES)	STEEL (MINIMUM THICKNESS, NORMAL)	ALUMINUM (MINIMUM THICKNESS, NORMAL)	
THROUGH 12	0.022 INCH (26 GAGE, GALV.)	0.020 INCH (NO. 24 B&S GAGE)	
13 THROUGH 30	0.028 INCH (24 GAGE, GALV.)	0.025 INCH (NO. 22 B&S GAGE)	
31 THROUGH 54	0.034 INCH (22 GAGE, GALV.)	0.032 INCH (NO. 20 B&S GAGE)	
ROUND DUCTS			
MAXIMUM SIZE (INCHES)	SPIRAL SEAM DUCT	LONGITUDINAL SEAM DUCT	FITTINGS
	STEEL (MINIMUM THICKNESS, NORMAL)	STEEL (MINIMUM THICKNESS, NORMAL)	STEEL (MINIMUM THICKNESS, NORMAL)
THROUGH 12	0.019 INCH (28 GAGE, GALV.)	0.022 INCH (26 GAGE, GALV.)	0.022 INCH (26 GAGE, GALV.)
13 THROUGH 18	0.022 INCH (26 GAGE, GALV.)	0.028 INCH (24 GAGE, GALV.)	0.028 INCH (24 GAGE, GALV.)

**ENERGY CODE COMPLIANCE REQUIREMENTS**

- DRAWINGS:** CONSTRUCTION DOCUMENTS SHALL REQUIRE THAT WITHIN 90 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE RECORD DRAWINGS OF THE ACTUAL INSTALLATION BE PROVIDED TO THE BUILDING OWNER OR THE DESIGNATED REPRESENTATIVE OF THE BUILDING OWNER. RECORD DRAWINGS SHALL INCLUDE AS A MINIMUM THE LOCATION AND PERFORMANCE DATA ON EACH PIECE OF EQUIPMENT, GENERAL CONFIGURATION OF DUCT AND PIPE DISTRIBUTION SYSTEM INCLUDING SIZES, AND THE TERMINAL AIR OR WATER DESIGN FLOW RATES.
- MANUALS:** CONSTRUCTION DOCUMENTS SHALL REQUIRE THAT AN OPERATING MANUAL AND A MAINTENANCE MANUAL BE PROVIDED TO THE BUILDING OWNER OR THE DESIGNATED REPRESENTATIVE OF THE BUILDING OWNER WITHIN 90 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE. THESE MANUALS SHALL BE IN ACCORDANCE WITH INDUSTRY-ACCEPTED STANDARDS (SEE APPENDIX E) AND SHALL INCLUDE, AT A MINIMUM THE FOLLOWING:
  1. SUBMITTAL DATA STATING EQUIPMENT SIZE AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
  2. OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE, EXCEPT EQUIPMENT NOT FURNISHED AS PART OF THE PROJECT. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
  3. NAMES AND ADDRESSES OF AT LEAST ONE SERVICE AGENCY.
  4. HVAC CONTROLS SYSTEM MAINTENANCE AND CALIBRATION INFORMATION, INCLUDING WIRING DIAGRAMS, SCHEMATICS, AND CONTROL SEQUENCE DESCRIPTIONS. DESIRED OR FIELD-DETERMINED SET-POINTS SHALL BE PERMANENTLY RECORDED ON CONTROL DRAWINGS AT CONTROL DEVICES OR FOR DIGITAL CONTROL SYSTEMS IN PROGRAMMING COMMENTS.
  5. A COMPLETE NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE, INCLUDING SUGGESTED SET-POINTS.



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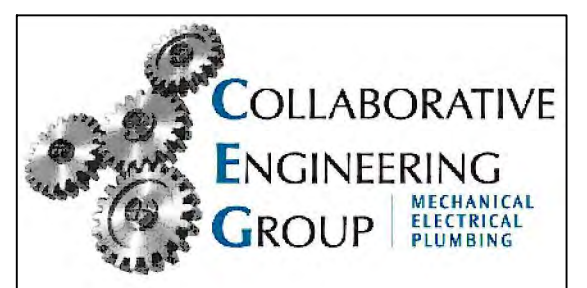
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Houston, Texas 77006  
Voice: 713.524.5858  
Fax: 713.524.5868  
studio@bravearchitecture.com  
Contact: Silvana Micolich  
smicolich@bravearchitecture.com



**Consultants:**

**MEP:**

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130



8904 Fairbanks N. Houston, Suite 201  
Houston, Texas 77064  
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www.collaborative-engr.com  
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1019 Commerce St.  
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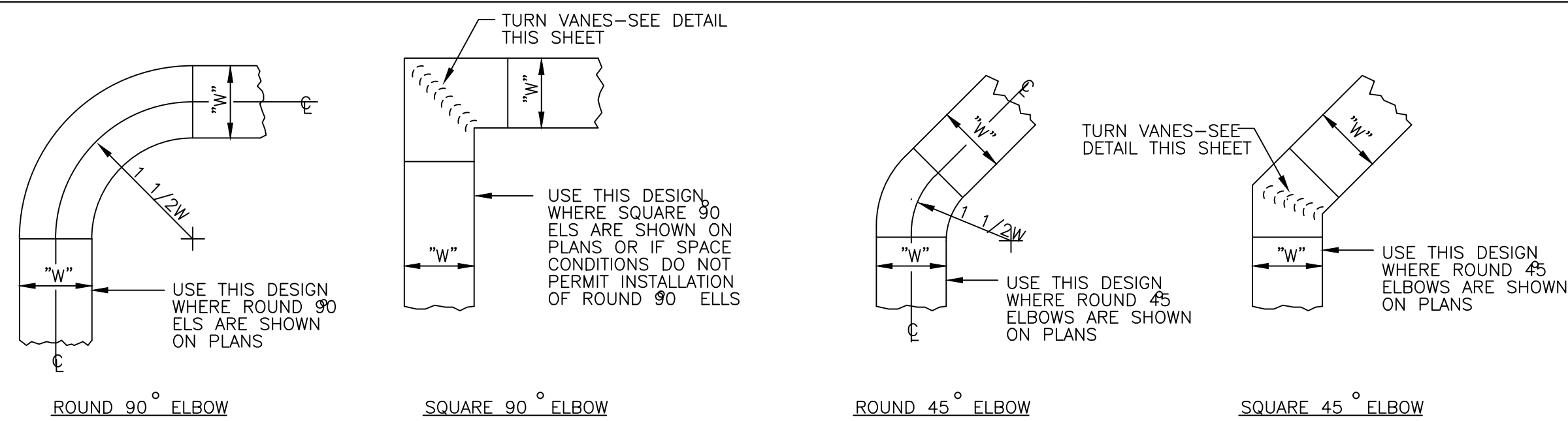
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### MECHANICAL SCHEDULES

# M4.00



ROUND 90° ELBOW

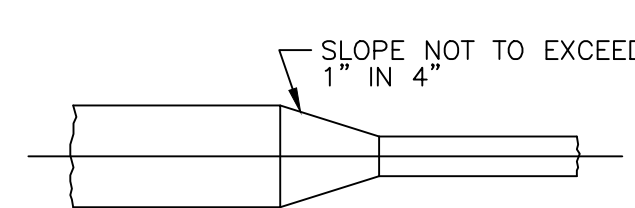
SQUARE 90° ELBOW

ROUND 45° ELBOW

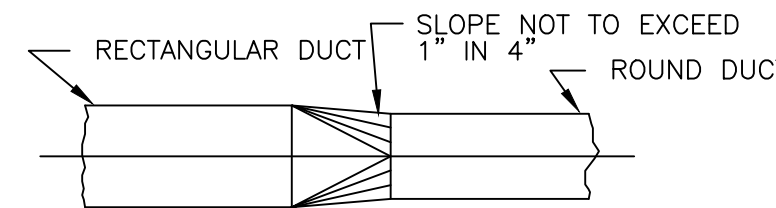
SQUARE 45° ELBOW

CONSTRUCTION OF 90° ELBOWS

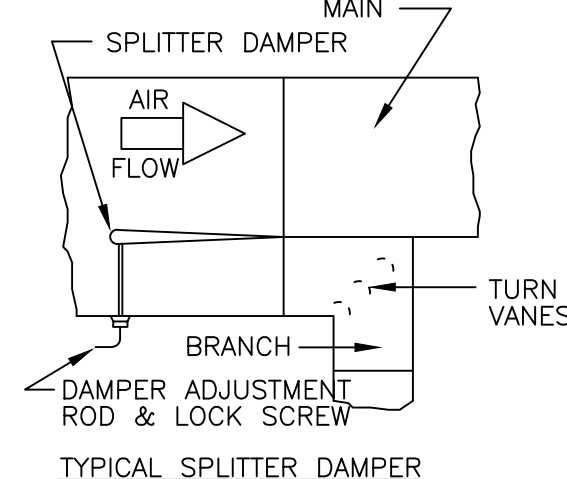
CONSTRUCTION OF 45° ELBOWS



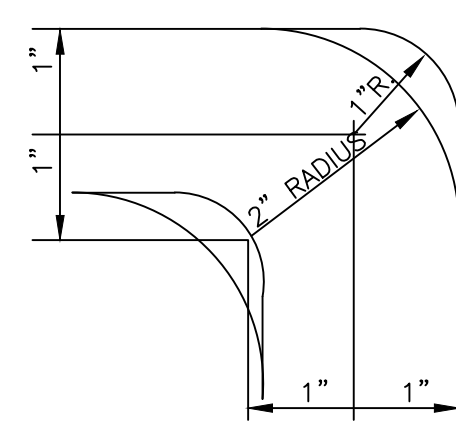
TYPICAL RECTANGULAR TRANSITION



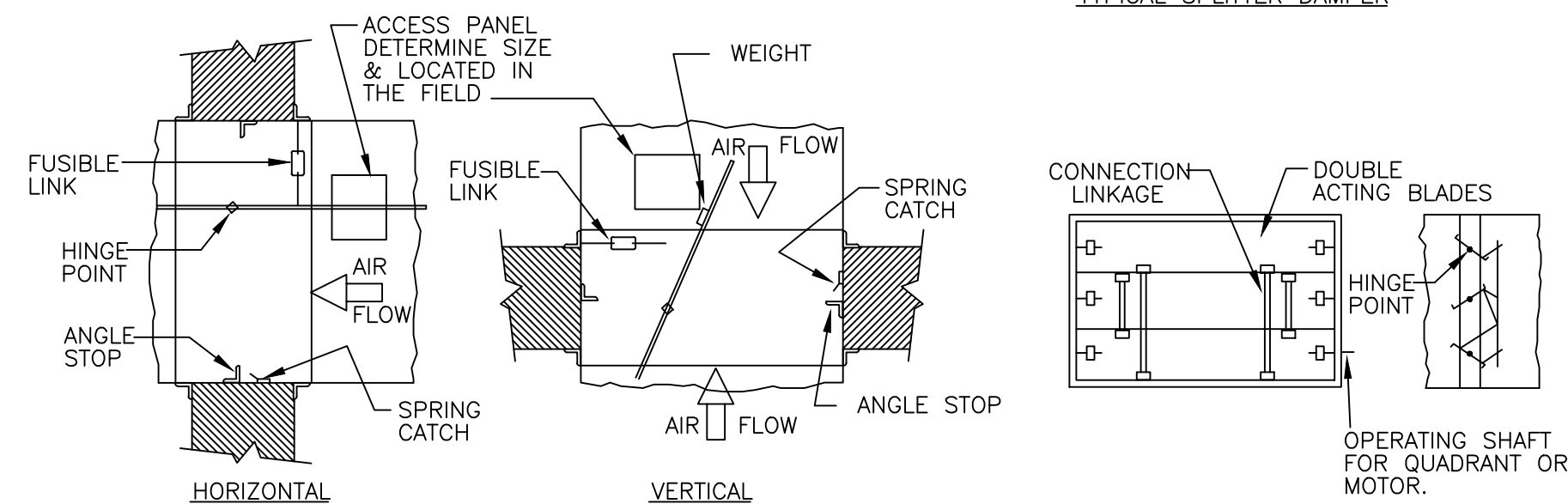
TYPICAL RECTANGULAR TO ROUND TRANSITION



TYPICAL SPLITTER DAMPER

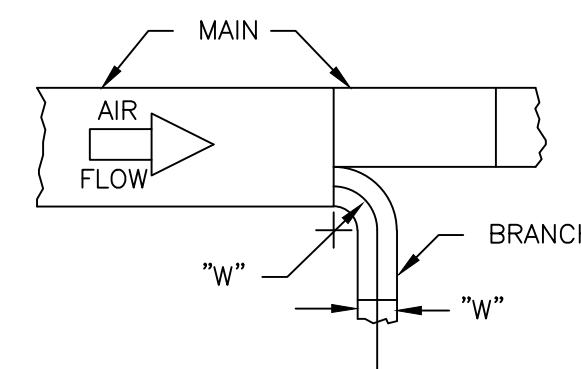


DETAIL OF TURN VANES

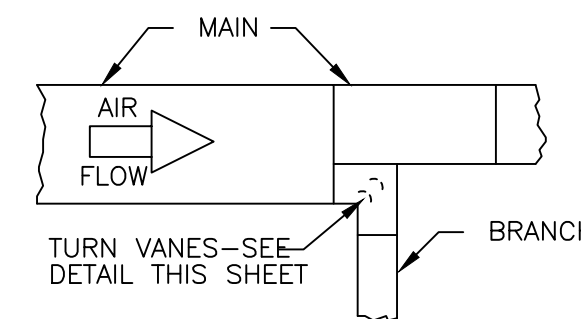


DETAILS OF THE LOW VELOCITY DUCT LAYOUT

NOT TO SCALE



ROUND BRANCH TAKEOFF

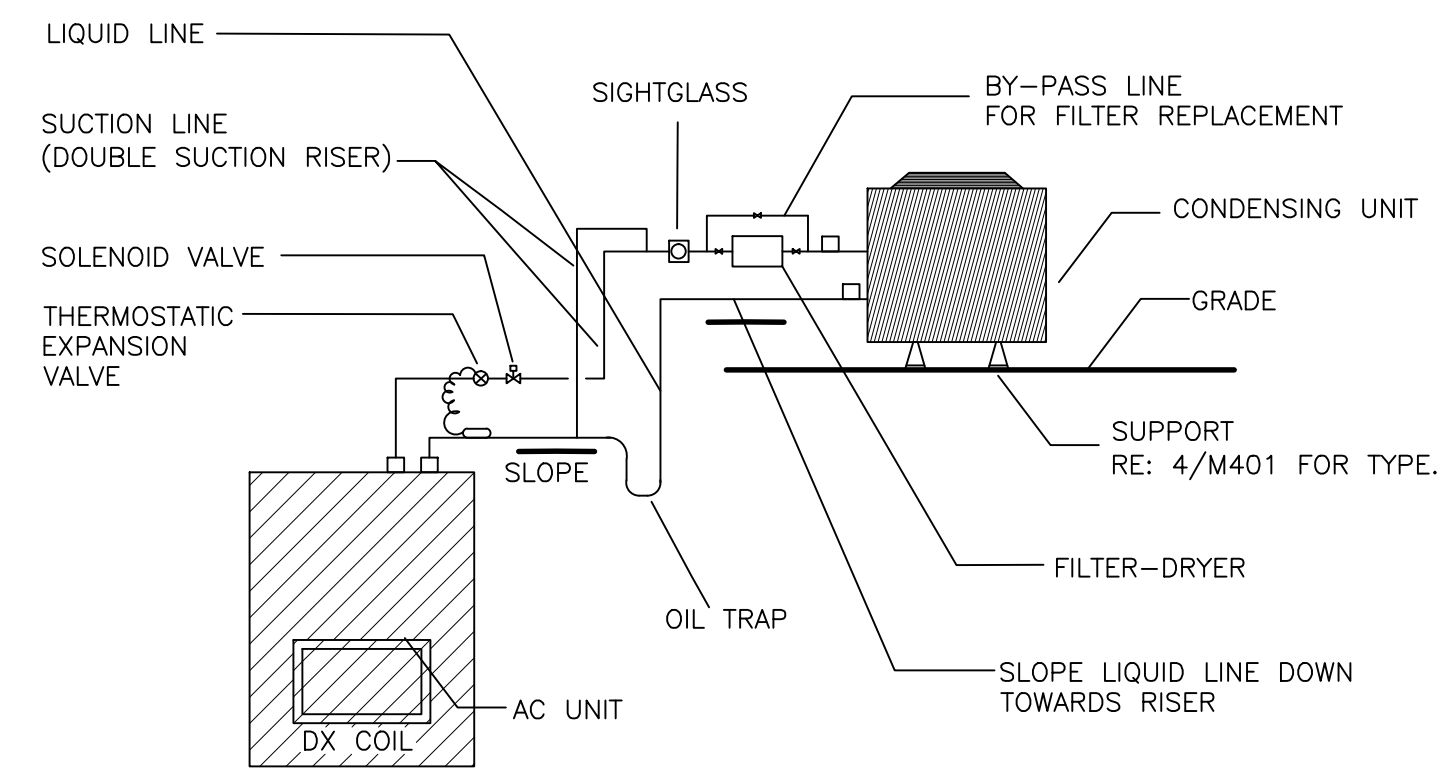


SQUARE BRANCH TAKEOFF

CONSTRUCTION OF BRANCH TAKEOFFS FROM MAIN

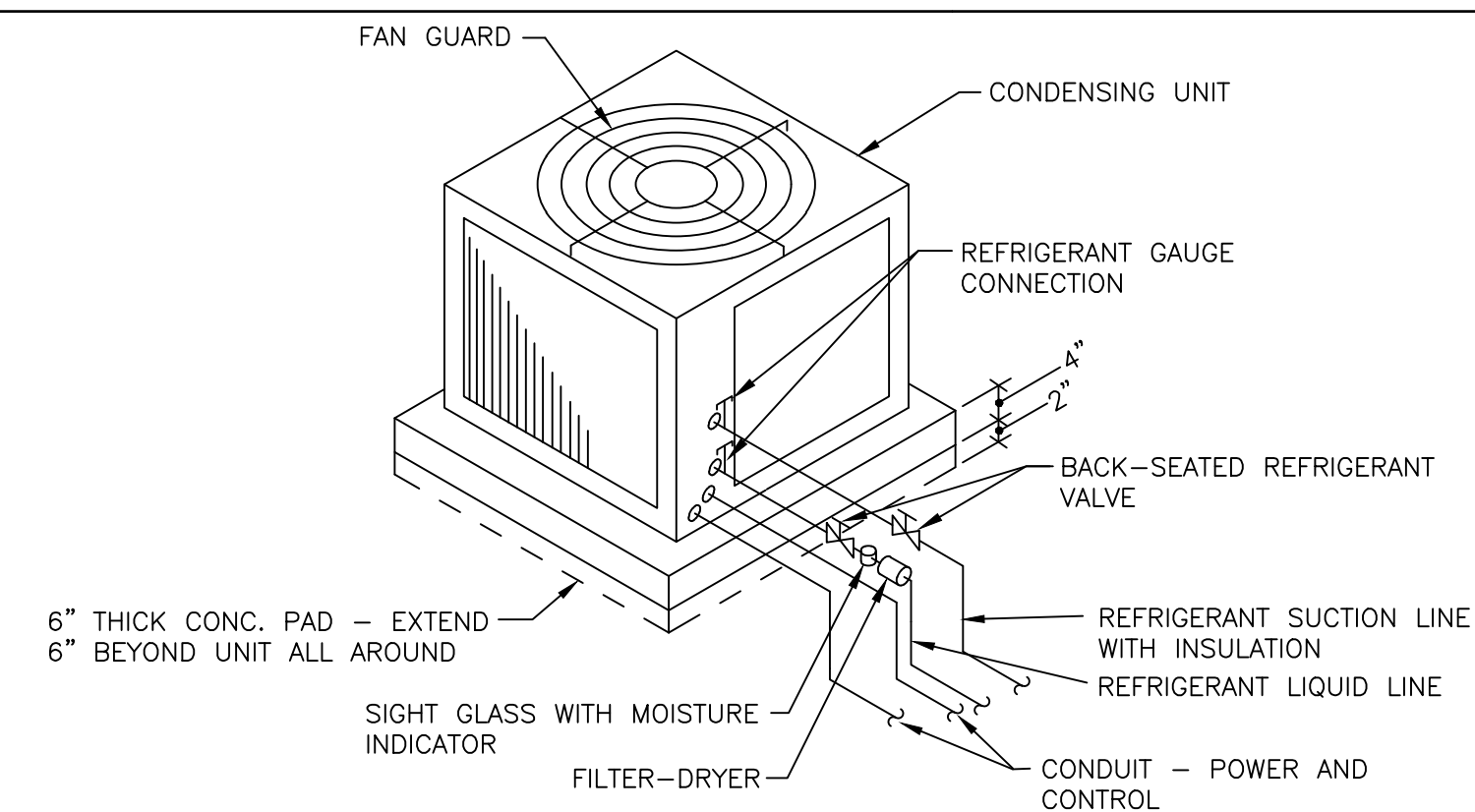
INSTALLATION NOTES

1. ALL DUCTS SHALL BE CONSTRUCTED AND ERECTED IN A NEAT AND WORKMANLIKE MANNER.
2. DUCTS SHALL BE CONSTRUCTED OF THE WEIGHTS, GAGES AND MATERIAL SHOWN IN THE SCHEDULE ON THESE DRAWINGS.
3. THE DIMENSION SHOWN FOR ALL DUCTS SHOWN IN PLAN GIVE THE WIDTH FIRST AND THEN THE HEIGHT.
4. DUCT RISERS SHOULD BE SUPPORTED BY ANGLES AT EVERY FLOOR.
5. AIR TURN SHALL BE INSTALLED IN ALL ABRUPT ELBOWS TO PREVENT TURBULENCE.
6. DUCTS SHALL BE SECURELY ATTACHED TO THE BUILDING CONSTRUCTION IN AN APPROVED MANNER.
7. DIVERGING TRANSITION PIECES SHALL BE MADE AS GRADUAL AS POSSIBLE.
8. INSTALL FIRE DAMPERS IN ACCORDANCE WITH UL 555.
9. ACCESS PANELS SHOULD BE PLACED BEFORE AND/OR AFTER EQUIPMENT INSTALLED IN THE DUCT.
10. DUCT AREA SHOULD NOT BE DECREASED MORE THAN 10 PERCENT WHEN OBSTRUCTIONS CANNOT BE AVOIDED, AND THEN A STREAMLINED FITTING SHOULD BE USED.
11. FLEXIBLE FABRIC CONNECTIONS (OR EQUAL) SHOULD BE USED ON BOTH INLETS AND OUTLETS OF ALL FANS AND AIR HANDLING UNITS.
12. JOINTS AND SEAMS OF SUPPLY DUCTS SHALL BE FASTENED SECURELY AND MADE AIR TIGHT.



REFRIGERANT PIPING SYSTEM

NOT TO SCALE



AIR-COOLED CONDENSING UNIT  
— SLAB MOUNTED AT GRADE

NOT TO SCALE



**BRAVE / ARCHITECTURE**

4617 Montrose Blvd., Suite C.230  
Houston, Texas 77006  
Voice: 713.524.5858  
Fax: 713.524.5868  
studio@bravearchitecture.com  
Contact: Silvana Micolich  
smicolich@bravearchitecture.com

Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
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Houston, Texas 77064  
281.598.1170  
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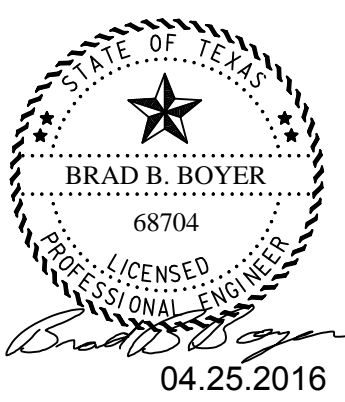
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**MECHANICAL  
DETAILS**

**M5.00**

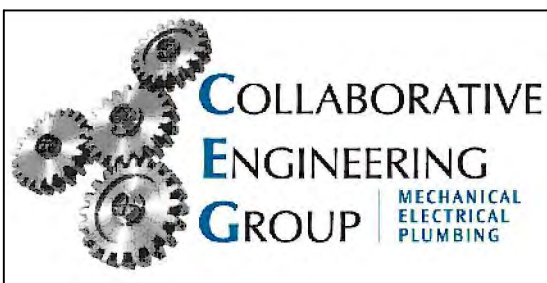




Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130



8904 Fairbanks N. Houston, Suite 201  
Houston, Texas 77064  
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Checked By: BBB  
Date:  
Scale: AS NOTED

**ELECTRICAL SYMBOLS & ABBREVIATIONS**

ELECTRICAL DRAWING LIST	
Sheet Number	Sheet Name
E0.00	ELECTRICAL SYMBOLS AND ABBREVIATIONS
E0.01	ELECTRICAL SPECIFICATIONS
E1.01	ELECTRICAL LIGHTING FLOOR PLAN
E1.11	ELECTRICAL LIGHTING DEMOLITION PLAN
E2.01	ELECTRICAL POWER FLOOR PLAN
E2.11	ELECTRICAL POWER DEMOLITION PLAN
E6.00	ELECTRICAL ONE LINE, LOAD ANALYSIS & FAULT ANALYSIS
E8.00	ELECTRICAL SCHEDULES
E8.01	ELECTRICAL SCHEDULES
E9.00	ELECTRICAL DETAILS

**COMMUNICATION**

SYMBOL	DESCRIPTION	MOUNTING HEIGHT
◁	DATA OUTLET	18" AFF OR MATCH POWER OUTLET
◁	DATA OUTLET(PHONE AND DATA)	ABC, AS NOTED, OR PER ARCH. ELEVATIONS
◁	DATA OUTLET(FLOOR - FLUSH OR BELOW FLOOR) SUB - SCRIPT REPRESENTS NUMBER OF OUTLETS IN FACEPLATE)	FLUSH FLOOR OR SURFACE MOUNT BOX
◁	DATA OUTLET (CEILING - FLUSH OR ABOVE CEILING) (SUB - SCRIPT REPRESENTS NUMBER OF OUTLETS IN FACEPLATE)	FLUSH CEILING OR ABOVE CEILING (ACO)
◁	WIRELESS CISCOR REPEATER	WALL, CEILING OR ABOVE CEILING
◁	DIRECTIONAL ANTENNA	WALL, CEILING OR ABOVE CEILING
◁	OMNI-DIRECTIONAL ANTENNA	WALL, CEILING OR ABOVE CEILING
◁	WALLPHONE VOICE OUTLET	+54" AFF OR PER ARCH. ELEVATIONS
TGB	TELECOMMUNICATIONS GROUNDING BAR (ELEVATION VIEW)	WALL MOUNTED OR AS VENDOR SPECIFIED
TV	TELEVISION OUTLET	ABC, AS NOTED, OR PER ARCH. ELEVATIONS
◁	PHONE VOICE OUTLET	1'6" AFF TO CL. UNLESS OTHERWISE NOTED

**RACEWAY**

SYMBOL	DESCRIPTION	MOUNTING HEIGHT
—	CONDUIT & BRANCH CIRCUIT WIRING	
—	BRANCH CIRCUIT RACEWAY CONCEALED IN OR BELOW FLOOR SLAB OR BELOW GRADE	
—	FEEDER RACEWAY CONCEALED IN OR BELOW FLOOR SLAB OR BELOW GRADE	
—	RACEWAY TURNING UP AS VIEWED FROM THE LOAD	
—	RACEWAY TURNING DOWN AS VIEW FROM THE LOAD	
—	RACEWAY VERTICAL RISER WITH HORIZONTAL CONTINUATION AT TWO LEVELS SHOWN	
—	CAPPED RACEWAY	
—	CIRCUIT CONTINUATION	
—	HOMERUN TO PANELBOARD - NUMBER OF ARROWHEADS INDICATED NUMBER OF #12 AWG PHASE CONDUCTORS. FOR MINIMUM CONDUIT REFER TO SPECIFICATION.	
	NOTES: 1. #12 AWG NEUTRAL CONDUCTOR, ALTHOUGH NOT INDICATED, SHALL BE INCLUDED IN EACH RACEWAY UNLESS OTHERWISE NOTED. 2. #12 AWG GREEN GROUND CONDUCTOR, ALTHOUGH NOT INDICATED, SHALL BE INCLUDED IN EACH RACEWAY UNLESS OTHERWISE NOTED. 3. HOMERUNS TO PANELBOARDS SHALL HAVE A MAXIMUM OF THREE(3) PHASE CONDUCTORS (ONE PER PHASE) PLUS NEUTRAL AND GROUND CONDUCTORS IN EACH CONDUIT.	

**GENERAL ELECTRICAL CONSTRUCTION NOTES:**

- DRAWINGS ARE SCHEMATIC IN NATURE AND MAY NOT BE DRAWN EXACTLY TO SCALE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING EXACT ROUTING OF ALL SERVICES WITH EXISTING CONDITIONS AND WITH ALL OTHER TRADES.
- PROVIDE TYPED DIRECTORY CARDS UNDER PLASTIC DOORS OF BRANCH CIRCUIT PANELBOARDS. DIRECTORIES SHALL INDICATE DEVICES BEING SERVED INCLUDING SPACE NUMBERS IN WHICH DEVICES OR FIXTURES ARE LOCATED. SPACE NAMES AND NUMBERS SHALL MATCH GRAPHICS INSTALLED IF DIFFERENT FROM THE SPACE NAMES AND NUMBERS ON THE DRAWINGS.
- ALL RECEPTACLES SHALL BE 20A. ALL SWITCHES SHALL BE 20A QUIET TYPE.
- REFER TO THE ELECTRICAL SPECIFICATIONS FOR ADDITIONAL DESIGN STANDARDS. THE ELECTRICAL SPECIFICATIONS ARE A BINDING PART OF THE CONSTRUCTIONS DOCUMENTS.
- PROVIDE CODE COMPLIANT PENETRATIONS FOR ALL CONDUITS ENTERING/EXITING FIRE RATED WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL FIRE RATED WALLS.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS.
- REFER TO ARCHITECTURAL PLANS FOR RATED WALLS AND UL LISTED FIRE RATED DETAILS.
- ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR) AND LOCAL CODES.
- FOR ALL WORK INSIDE THE CITY OF HOUSTON LIMITS, PROVIDE FAULT CURRENT LABELING AS SPECIFIED IN SECTION 804.1.1 OF THE CITY OF HOUSTON ELECTRICAL CODE. PROVIDE A 2"x3" LABEL WITH BLUE LETTERING ON A CONTRASTING BACKGROUND. LABEL IS TO SHOW AVAILABLE FAULT CURRENT AT TIME OF INSTALLATION AND TO INCLUDE THE DATE OF THE CALCULATION.

**RECEPTACLES**

SYMBOL	DESCRIPTION	MOUNTING HEIGHT
⊕	120V. DUPLEX RECEPTACLE - (REFER TO RECEPTACLE ABBREVIATIONS FOR EXCEPTIONS)	1'-6" AFF TO CL. U.N.O.
⊕	120V. QUADPLEX RECEPTACLE - (REFER TO RECEPTACLE ABBREVIATIONS FOR EXCEPTIONS)	1'-6" AFF TO CL. U.N.O.
⊕	120V. GFI RECEPTACLE	1'-6" AFF TO CL. U.N.O.
⊕	120V. GFI ABOVE COUNTER RECEPTACLE	REFER TO ARCHITECTURAL
⊕ <sub>USB</sub>	120V. DUPLEX RECEPTACLE W/ INTEGRATED 5.0V, 2.0A OUTLETS	1'-6" AFF TO CL. U.N.O.
⊕	120. DUPLEX HALF SWITCHED RECEPTACLE	1'-6" AFF TO CL. U.N.O.
⊕	120V. DUPLEX FLOOR RECEPTACLE	1'-6" AFF TO CL. U.N.O.
⊕	SINGLE RECEPTACLE (TYPE AS NOTED ON PLANS ) REFER TO RECEPTACLE ABBREVIATIONS FOR EXCEPTIONS)	1'-6" AFF TO CL. U.N.O.
⊕	120V. DUPLEX RECEPTACLE - CRITICAL (REFER TO RECEPTACLE ABBREVIATIONS FOR EXCEPTIONS)	1'-6" AFF TO CL. U.N.O.
⊕	120V. QUADPLEX RECEPTACLE -CRITICAL (REFER TO RECEPTACLE ABBREVIATIONS FOR EXCEPTIONS)	1'-6" AFF TO CL. U.N.O.
⊕	120. GFI RECEPTACLE - CRITICAL	1'-6" AFF TO CL. U.N.O.
⊕	SINGLE RECEPTACLE - CRITICAL - (TYPE AS NOTED ON PLANS) (REFER TO RECEPTACLE ABBREVIATIONS FOR EXCEPTIONS)	1'-6" AFF TO CL. U.N.O.

**SWITCHES**

SYMBOL	DESCRIPTION	MOUNTING HEIGHT
⊕	SINGLE POLE SWITCH	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>2</sub>	DOUBLE POLE SWITCH - CENTER OFF	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>3</sub>	THREE WAY SWITCH	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>4</sub>	FOUR WAY SWITCH	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>K</sub>	SINGLE POLE SWITCH KEY OPERATED	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>D</sub>	DIMMER SWITCH	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>V</sub>	VARIABLE INTENSITY CONTROL	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>IT</sub>	INTERVAL TIMER CONTROL SWITCH	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>P</sub>	SINGLE POLE SWITCH WITH PILOT LIGHT	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>OS</sub>	OCCUPANCY SENSOR SWITCH	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>J</sub>	JOG SWITCH	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>M</sub>	MOTOR RATED SWITCH	
⊕	PUSH BUTTON SWITCH (MUSHROOM BUTTON)	3'-10" AFF TO CL. UNLESS NOTED OTHERWISE
⊕ <sub>OS</sub>	ROOM OCCUPANCY SENSOR - 360° FIELD OF VIEW	CEILING

**ELECTRICAL ABBREVIATIONS**

ABBR.	DEFINITION	ABB	DEFINITION
A	AMPERE	KW	KILOWATT
ABC	ABOVE COUNTER	LC	LOCKABLE COVER
AC	ALTERNATING CURRENT	LTG	LIGHTING
ADO	AUTOMATIC DOOR OPENER	MAX	MAXIMUM
AF	AMPERE FUSE	MCB	MAIN CIRCUIT BREAKER
AFF	ABOVE FINISHED FLOOR	MCC	MOTOR CONTROL CENTER
AFG	ABOVE FINISHED GROUND	KCMIL	KILO-CIRCULAR MILS
AHU	AIR HANDLING UNIT	MECH	MECHANICAL
KAIC	AMPS INTERRUPTING CAPACITY X1000	MFR	MANUFACTURER
AT	AMPERE TRIP	MGAP	MEDICAL GAS ALARM PANEL
ANN	ANNUNCIATOR	MLO	MAIN LUGS ONLY
APRX.	APPROXIMATE	MTD	MOUNTED
ARCH	ARCHITECT	MTG	MOUNTING
ATS	AUTOMATIC TRANSFER SWITCH	NEC	NATIONAL ELECTRICAL CODE
AWG	AMERICAN WIRE GAUGE	NTS	NOT TO SCALE
BLDG	BUILDING	PNL	PANEL
BSMT	BASEMENT	PH	PHASE
C	CENTER	P	POLE
CAB	CABINET	PFB	PROVISIONS FOR BREAKING
CB	CIRCUIT BREAKER	PA	PUBLIC ADDRESS
CKT	CIRCUIT	POE	POWER OVER ETHERNET
CLG	CEILING	RECP	RECEPTACLE
CL	CENTER LINE	REFRIG	REFRIGERATOR
CU	COPPER	REQD	REQUIRED
DN	DOWN	SN	SOLID NEUTRAL
DWG	DRAWING	SPKR	SPEAKER
EA	EACH	SPEC	SPECIFICATION
EF	EXHAUST FAN	SWBD	SWITCHBOARD
ELEV	ELEVATOR/ELEVATION	SWGR	SWITCHGEAR
EQPT	EQUIPMENT	TC	TIME CLOCK
EXTG	EXISTING	TEL	TELEPHONE
FA	FIRE ALARM	TTB	TELEPHONE TERMINAL BOARD
FACP	FIRE ALARM CONTROL PANEL	TV	TELEVISION
FCU	FAN COIL UNIT	TVSS	TRANSIENT VOLT. SURGE SUPPRESSOR
FLA	FULL LOAD AMPACITY	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	UC	UNDER COUNTER
GND	GROUND	UH	UNIT HEATER
HTR	HEATER	V	VOLT
HP	HORSEPOWER	VA	VOLTAMPERE
HW	HOT WATER	W	WATT
IG	ISOLATED GROUND	WH	WATER HEATER
INCAND	INCANDESCENT	W/	WITH
JB	JUNCTION BOX	W/O	WITHOUT
KV	KILOVOLT	XFMR	TRANSFORMER
KVA	KILOVOLT-AMPERE	XFR	TRANSFER

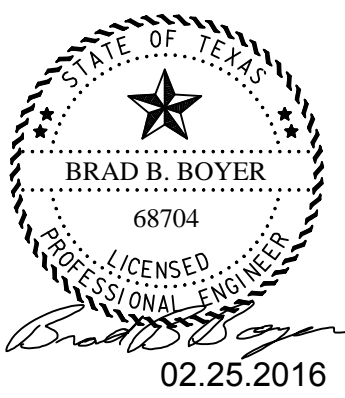
**NOTICE**

FIRE ALARM SYSTEM IS EXISTING TO REMAIN.



**BRAVE / ARCHITECTURE**

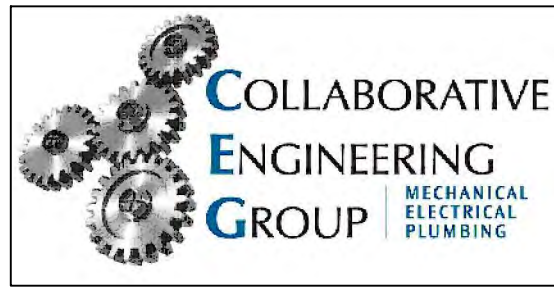
4617 Montrose Blvd., Suite C.230  
Houston, Texas 77006  
Voice: 713.524.5858  
Fax: 713.524.5868  
studio@bravearchitecture.com  
Contact: Silvana Micolich  
smicolich@bravearchitecture.com



**Consultants:**

**MEP:**

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130



8904 Fairbanks N. Houston, Suite 201  
Houston, Texas 77064  
281.598.1170  
www.collaborative-engr.com  
Firm No. F12678

**SUNSET COFFEE**

1019 Commerce St.  
Houston, TX 77002

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ISSUE:  
**ISSUE FOR PERMIT 02.25.2016**

B/A Project No.: 15137  
Drawn By: TLK  
Checked By: BBB  
Date:  
Scale: AS NOTED

**ELECTRICAL SPECIFICATIONS**

**EO.01**

**DIVISION 26 - ELECTRICAL**

**260000 ELECTRICAL BASIC REQUIREMENTS:**

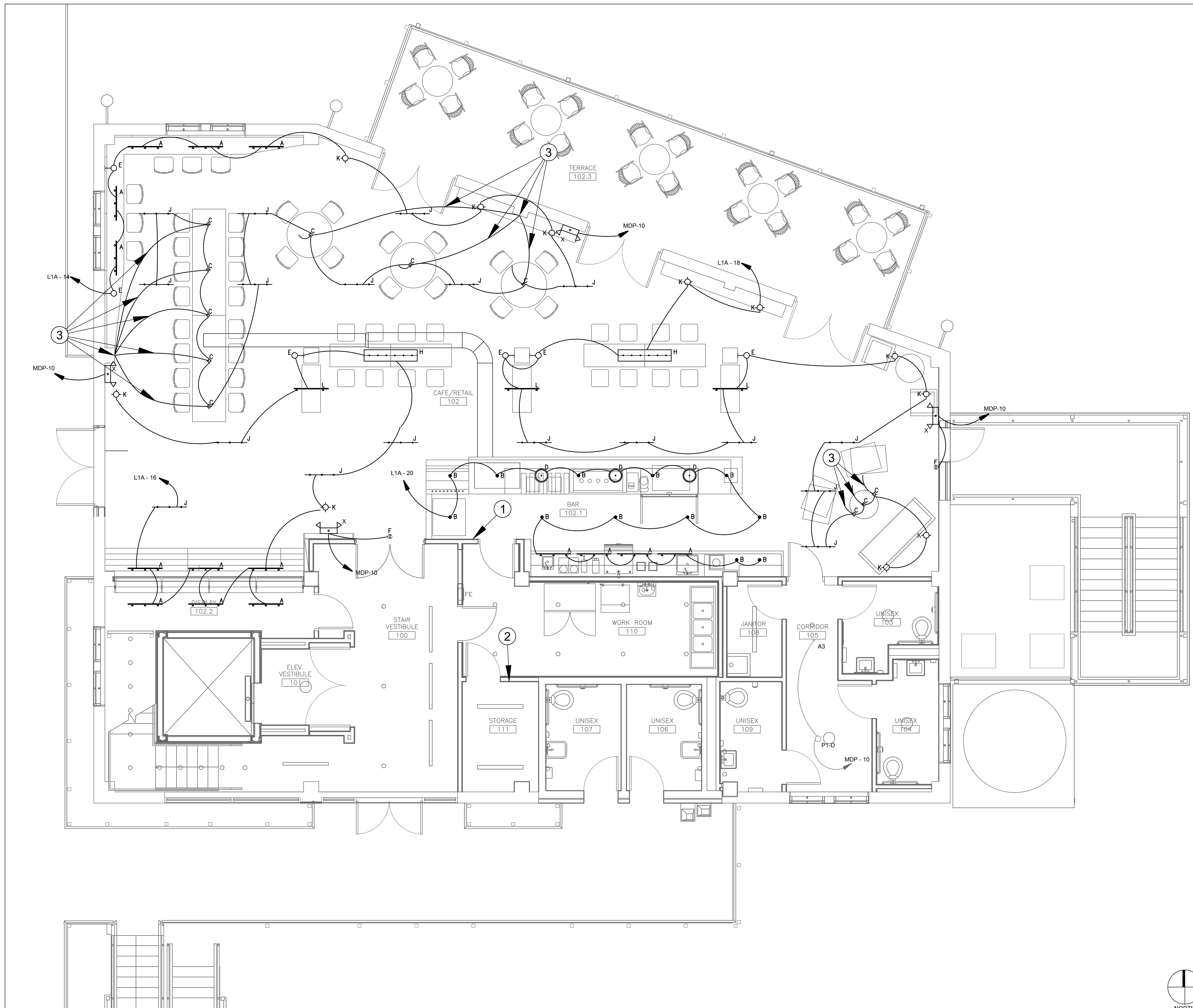
- A. MINIMUM STANDARDS FOR ALL WORK SHALL BE CITY OF HOUSTON AMENDMENTS TO 2012 INTERNATIONAL BUILDING CODE, 2014 NATIONAL ELECTRICAL CODE, AND ASHRAE 90.1-2007.
- B. REFERENCES: THE STANDARDS MENTIONED HEREIN WILL BE REFERRED TO IN THE DESIGN OF MECHANICAL SYSTEMS. THE ENGINEER WILL SELECT APPROPRIATE SECTIONS OF THE STANDARDS TO BE APPLIED IN ACCORDANCE WITH ESTABLISHED ENGINEERING PRINCIPLES AND PRACTICES.
  - 1. NFPA-70: NATIONAL ELECTRICAL CODE, 2014 EDITION
  - 2. NFPA-101: LIFE SAFETY CODE 101, 2014 EDITION
  - 3. OTHER APPLICABLE SECTIONS OF NFPA
  - 4. TEXAS ACCESSIBILITY STANDARDS (TAS)
  - 5. AMERICANS WITH DISABILITIES ACT (ADA)
- C. SITE CONDITIONS: BEFORE SUBMITTING ANY PROPOSAL, EXAMINE THE PROPOSED SITE AND DETERMINE ANY CONDITIONS THAT MAY AFFECT THE WORK. NO ALLOWANCE SHALL BE MADE FOR FAILURE TO MAKE SUCH EXAMINATIONS.
- D. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK, MATERIALS, AND LABOR TO SATISFY A COMPLETE WORKING SYSTEM WHETHER SPECIFIED OR IMPLIED.
- E. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL OTHER TRADES INCLUDING ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, AND ELECTRICAL.
- F. DO NOT SCALE FROM THE ENGINEERED DRAWINGS. REFER TO THE DIMENSIONED DRAWINGS OF THE ARCHITECT FOR EXACT LOCATIONS OF FIXTURES, EQUIPMENT, ETC.
- G. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED FOR THE INSTALLATION OF WORK AND PAY ALL INCIDENTAL CHARGES.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL TESTS NECESSARY TO PREVENT CONCEALMENT OF DEFECTIVE OR IMPROPER WORK. UPON COMPLETION OF WORK, TEST INSTALLATION THOROUGHLY AND RENDER IT FROM LEAKS OR IMPROPER CONNECTIONS.
- I. PROTECT EQUIPMENT AND WORK FROM DAMAGE DURING HANDLING AND INSTALLATION UNTIL COMPLETION OF CONSTRUCTION. REMOVE ALL EXCESS DEBRIS AND CLEAN ALL EQUIPMENT UPON COMPLETION OF WORK. TOUCH UP WITH PAINT WHERE REQUIRED.
- J. TEMPORARY LIGHTS AND POWER:
  - 1. PROVIDE A TEMPORARY ELECTRICAL LIGHTING AND POWER DISTRIBUTION SYSTEM OF ADEQUATE SIZE TO PROPERLY SERVE THE FOLLOWING REQUIREMENTS, INCLUDING ADEQUATE FEEDER SIZES TO PREVENT EXCESSIVE VOLTAGE DROP. TEMPORARY WORK SHALL BE INSTALLED IN A NEAT AND SAFE MANNER IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, ARTICLE 305, NFPA 241, AND AS REQUIRED BY OSHA OR APPLICABLE LOCAL SAFETY CODES.
- K. IDENTIFICATION OF EQUIPMENT:
  - 1. IDENTIFY ELECTRICAL EQUIPMENT WITH PERMANENTLY ATTACHED BLACK (NORMAL POWER), PHENOLIC PLATES WITH 1/4" WHITE ENGRAVED LETTERING ON THE FACE OF EACH, ATTACHED WITH TWO SHEET METAL SCREWS. COLORS SHALL MATCH EXISTING SCHEME PRESENTLY USED THROUGHOUT THE FACILITY.
- L. WARNING SIGNS:
  - 1. PROVIDE WARNING SIGNS CALLED FOR BY NFPA 70, BY OSHA AND BY THE LIST INCLUDED BELOW.
- M. CONTROL SYSTEMS AND INTERLOCK WIRING:
  - 1. CONTROL SYSTEMS, COMPONENTS AND CONTROL AND INTERLOCK WIRING FOR MECHANICAL EQUIPMENT WILL BE FURNISHED UNDER DIVISION 23. CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO, THERMOSTATS, FAN SPEED AND LEVEL CONTROL SWITCHES, RELAYS AND ELECTRO-PNEUMATIC SWITCHES SHALL BE FURNISHED UNDER DIVISION 23.
  - 2. PROVIDE POWER WIRING TO STARTERS AND CONTACTORS UNDER DIVISION 26. POWER WIRING TO MAGNETIC STARTERS SHALL CONSIST OF WIRING TO THE LINE SIDE TERMINALS OF THE MAGNETIC STARTER OR CONTACTOR AND WIRING AWAY FROM THE LOAD SIDE TERMINALS TO THE EQUIPMENT, EXCEPT WHERE SUCH WIRING IS INSTALLED PRE-WIRED BY THE EQUIPMENT VENDOR SUCH AS FOR ROOFTOP A/C UNITS.
    - a. POWER WIRING TO 120-1-60 AND 277-1-60 VOLT FANS, UNIT HEATERS, FAN-COIL UNITS AND PUMPS SHALL INCLUDE ALL PORTIONS OF THE BRANCH CIRCUIT, EXCEPT WIRING INSIDE AN AUTOMATIC TEMPERATURE CONTROL PANEL (ATC) OR DIRECT DIGITAL CONTROL PANEL (DDC) OR MAGNETIC STARTER. SUCH INTERNAL WIRING SHALL BE FURNISHED UNDER DIVISION 23.
  - 3. UNDER DIVISION 28:
    - a. FURNISH DUCT MOUNTED SMOKE DETECTORS.
    - b. PROVIDE WIRING AMONG DETECTORS, FIRE ALARM SYSTEM, MAGNETIC STARTERS AND RELAYS, ATC PANELS AND DDC PANELS.
    - c. INSTALL LINE VOLTAGE COMPONENTS.
  - 4. SEE CONTROLS SECTION OF DIVISION 23.
- 260519 LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES:
  - A. CONDUCTORS:
    - 1. PROVIDE 98% CONDUCTIVITY COPPER CONDUCTORS WITH 600-VOLT INSULATION.
    - 2. FOR CONDUCTORS NO. 12 AWG AND NO. 10 AWG, PROVIDE STRANDED TYPE THWN OR THHN.
    - 3. FOR CONDUCTORS NO. 14 AWG AND SMALLER, PROVIDE SOLID TYPE THHN. WHERE STRANDED CONDUCTORS ARE USED, MAXIMUM STRANDING SHALL BE 7 FOR #16 AND #18, 19 FOR #14.
    - 4. FOR CONDUCTORS NO. 8 AWG AND LARGER, PROVIDE STRANDED TYPE THHN, OR THWN APPLIED CONSISTENTLY WITH INSULATION RATINGS AND NEC REQUIREMENTS.
    - 5. PROVIDE WHITE OR GRAY COLORED NEUTRAL CONDUCTORS; PROVIDE COLOR CODED PHASE CONDUCTORS.
    - 6. MINIMUM CONDUCTOR SIZE SHALL BE #12 FOR POWER WIRING; #14 FOR HARD WIRED CONTROLS UNLESS OTHERWISE SPECIFIED. PROVIDE DIGITAL COMMUNICATION, NETWORK CABLING, AND OTHER LOW VOLTAGE SYSTEMS WIRING AS DIRECTED ELSEWHERE IN THIS SPECIFICATION.
- 260526 GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS:
  - A. INSTALLATION REQUIREMENTS:
    - 1. GENERAL
      - a. CLEAN ALL CONDUCTIVE SURFACES ON EQUIPMENT TO BE GROUNDING, TO ASSURE GOOD ELECTRICAL CONTINUITY.
      - b. EFFECTIVELY BOND ALL GROUNDING CONDUCTORS TO GROUNDING ELECTRODES, EQUIPMENT ENCLOSURES AND GROUND BUSES.
      - c. LOCATE ALL GROUNDING ATTACHMENTS AWAY FROM AREAS SUBJECT TO PHYSICAL DAMAGE. PROVIDE PROTECTIVE COVERING AS REQUIRED.
      - d. ALL PVC CONDUIT SHALL HAVE SEPARATE GROUND WIRE INSTALLED IN ACCORDANCE WITH TABLE 250-122 OF THE NATIONAL ELECTRICAL CODE.
    - 2. MAIN SWITCHBOARD/BUILDING GROUND:
      - a. MAIN SERVICE SWITCHBOARD SHALL BE BONDED TO INCOMING MAIN WATER LINE WITH HEAVY DUTY GROUND CLAMP IN ACCORDANCE WITH ARTICLE NO. 250-66 OF NATIONAL ELECTRICAL CODE. BONDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250-66 OF NATIONAL ELECTRICAL CODE AND SHALL BE INSULATED.
      - b. BUILDING STEEL SHALL BE CONNECTED TO GROUND BUS ON MAIN SERVICE WITH A CONDUCTOR THE SAME AS SPECIFIED ABOVE.
      - c. GROUNDING ELECTRODE CONDUCTORS SPECIFIED HEREIN SHALL BE INSTALLED WITHOUT CONDUIT, IN GENERAL. WHERE EXPOSED TO POTENTIAL PHYSICAL DAMAGE, INSTALL THE CONDUCTOR IN SCHEDULE 80 PVC.
    - 3. FEEDER/BRANCH CIRCUITS:
      - a. FEEDER CIRCUITS TO PANELS SHALL HAVE A SEPARATE GREEN GROUNDING CONDUCTOR IN CONDUIT SIZED IN ACCORDANCE WITH TABLE 250-122 OF THE NATIONAL ELECTRICAL CODE.
      - b. BRANCH CIRCUITS SHALL HAVE A SEPARATE GREEN GROUNDING CONDUCTOR INSTALLED IN SAME CONDUIT AS PHASE AND NEUTRAL CONDUCTOR FROM PANEL GROUND BUS TO DEVICE. INSTALL AN EQUAL NUMBER OF GROUNDING AND NEUTRAL CONDUCTORS. THE GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250-122 OF THE NATIONAL ELECTRICAL CODE.
      - c. BOND THE RECEPTACLE GROUND PIN TO ITS BOX USING A BONDING JUMPER, EXCEPT WHERE ISOLATED GROUND RECEPTACLES ARE REQUIRED.
      - d. FLEXIBLE CONDUIT WILL NOT BE APPROVED AS A GROUNDING MEANS. FLEXIBLE CONDUIT SHALL HAVE A JUMPER WIRE SIZED TO AMPACITY OF BRANCH BREAKER AND CONNECTED TO CONDUIT SYSTEM ON BOTH ENDS. THIS APPLIES TO FIXTURES, MOTORS, CONTROLS AND OTHER DEVICES.
    - 4. TRANSFORMERS:
      - a. GROUND SECONDARY NEUTRAL OF TRANSFORMERS TO GROUNDING CONDUCTOR IN PRIMARY FEEDER, SIZED IN ACCORDANCE WITH TABLE 250-66 OF THE NATIONAL ELECTRICAL CODE, AND TO GROUNDING ELECTRODE SYSTEM AS INDICATED ON THE DRAWINGS, COLD WATER MAIN, 1 1/2 INCH OR LARGER, BOND ACROSS ANY DIELECTRIC UNIONS BETWEEN POINT OF CONNECTION AND DOMESTIC WATER ENTRANCE.
- 260529 HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS:
  - A. ACCEPTABLE MANUFACTURERS:
    - 1. ERICO PRODUCTS, INC.
    - 2. STEEL CITY.
    - 3. MINERALLAC.
    - 4. RAYCO FASTENERS.
  - B. TYPES OF SUPPORTING DEVICES:
    - 1. PROVIDE A COMPLETE SYSTEM OF SUPPORTING DEVICES AND HANGERS FOR SUPPORT OR BRACING OF CONDUIT, ELECTRICAL EQUIPMENT.
- 260533 RACEWAY AND BOXES FOR ELECTRICAL SYSTEMS:
  - A. ACCEPTABLE MANUFACTURERS FOR RACEWAYS AND CONDUIT:
    - 1. EMT, IMC, AND RIGID CONDUIT SHALL BE HOT DIPPED, GALVANIZED, OR ELECTROGALVANIZED STEEL BY ALLIED, GENERAL ELECTRIC, REPUBLIC, TRIANGLE, OR WHEATLAND.
    - 2. SURFACE METAL RACEWAYS SHALL BE WIREMOLD.
    - 3. ASSOCIATED COUPLINGS, CONNECTORS AND FITTINGS SHALL BE STEEL AS MANUFACTURED BY RACO OR EQUIVALENT.

- 4. ERICKSON COUPLINGS SHALL BE USED WHERE NEITHER LENGTH OF CONDUIT CAN BE ROTATED.
- 5. EMT BOX CONNECTORS SHALL BE SET SCREW OR COMPRESSION FITTINGS.
- 6. CONDUIT, CONNECTORS, COUPLINGS AND FITTINGS SHALL BE UL LISTED AND LABELED.
- B. ELECTRICAL METALLIC TUBING (EMT):
  - 1. USE ELECTRIC METALLIC TUBING (EMT) WHERE DRAWINGS CALL FOR CONDUIT TO BE:
    - a. CONCEALED IN WALLS.
    - b. INSTALLED ABOVE SUSPENDED CEILING.
    - c. INSTALLED EXPOSED, ABOVE 6 FEET.
- C. INTERMEDIATE METAL CONDUIT (IMC):
  - 1. USE INTERMEDIATE METAL CONDUIT (IMC) WHERE DRAWINGS CALL FOR CONDUIT TO BE:
    - a. INSTALLED IN HAZARDOUS AREAS.
    - b. INSTALLED IN CONCRETE SLABS AT GROUND FLOOR.
    - c. INSTALLED EXPOSED BELOW 6 FEET.
    - d. INSTALLED IN WET LOCATIONS.
- D. RIGID STEEL CONDUIT (RSC):
  - 1. USE RIGID STEEL CONDUIT WHERE DRAWINGS CALL FOR CONDUIT TO BE:
    - 2. EXPOSED TO SEVERE MECHANICAL DAMAGE.
- E. FLEXIBLE METAL CONDUIT:
  - 1. PROVIDE FLEXIBLE METAL CONDUIT FOR TERMINATION AT EQUIPMENT SUBJECT TO MOTION AND VIBRATION.
  - 2. CONDUIT SHALL BE ELECTRICALLY CONTINUOUS FROM OUTLET OR CONDUIT END TO UTILIZATION EQUIPMENT.
  - 3. LENGTH SHALL NOT EXCEED 6 FEET.
  - 4. MAXIMUM LENGTH CONCEALED IN WALLS SHALL BE 3 FEET.
  - 5. WHERE EXPOSED TO CONTINUOUS OR INTERMITTENT MOISTURE, CONDUIT SHALL BE LIQUID TIGHT.
- F. ACCEPTABLE MANUFACTURERS FOR OUTLET BOXES: NATIONAL, APPLETON, RACO, GENERAL ELECTRIC, STEEL CITY.

- 260544 SLEEVES AND SLEEVE SEALS FOR ELECTRICAL RACEWAYS AND CABLING:
  - A. PROVIDE U.L. LISTED FIRESTOP SEALING SYSTEMS AT ALL ELECTRICAL PENETRATIONS OF RATED FLOORS AND WALLS.

- 262726 WIRING DEVICES:
  - A. ACCEPTABLE MANUFACTURERS:
    - 1. ARROW HART B. EAGLE
    - 2. HUBBELL D. LEVITON
    - 3. PASS AND SEYMOUR.
    - 4. LEVITON NUMBERS ARE USED UNLESS OTHERWISE NOTED, BUT PRODUCTS OF EQUIVALENT QUALITY BY NAMED MANUFACTURERS WILL BE ACCEPTABLE.
  - B. SWITCHES:
    - 1. 15-AMP, 120/277 VAC:
      - a. SINGLE POLE: LEVITON NO. 1201-1.
      - b. THREE-WAY: LEVITON NO. 1203-1.
      - c. SINGLE POLE, WEATHERPROOF: LEVITON NO. 1201 WITH STEEL CITY NO. SWI-C WEATHERPROOF PLATE.
      - d. SINGLE POLE WITH PILOT LIGHT (120 VAC); LEVITON NO. 1201-PL.
    - 2. INCANDESCENT DIMMERS:
      - a. INCANDESCENT DIMMERS: LEVITON SERIES 60,000, 120-VOLT, 800, 1000, 1500, OR 2000 WATTS AS REQUIRED FOR LOAD.
  - C. RECEPTACLES:
    - 1. 20-AMP, 125 VAC RECEPTACLES:
      - a. LEVITON NO. 5362.
  - D. MISCELLANEOUS DEVICES:
    - 1. MANUAL MOTOR STARTER WITH THERMAL UNIT: SQUARE "D" CLASS 2510.

- 262816 ENCLOSED SWITCHES AND CIRCUIT BREAKERS:
  - A. ACCEPTABLE MANUFACTURERS:
    - 1. SQUARE D.
    - 2. G.E.
    - 3. CUTLER-HAMMER/WESTINGHOUSE.
    - 4. PROVIDE SQUARE D SERIES HU-860, SIX-POLE SAFETY SWITCHES FOR PART-WINDING OR TWO-SPEED MOTORS REQUIRING REMOTE DISCONNECTS.



GENERAL NOTES

- A. LIGHTING TO BE CONTROLLED BY DIMMER PANEL REFER TO LIGHTING CONTROL DIAGRAM ON SHEET E9.00
- B. EMERGENCY FIXTURES TO BE CONNECTED TO UNSWITCHED CONDUCTOR ON SPECIFIED CIRCUIT.

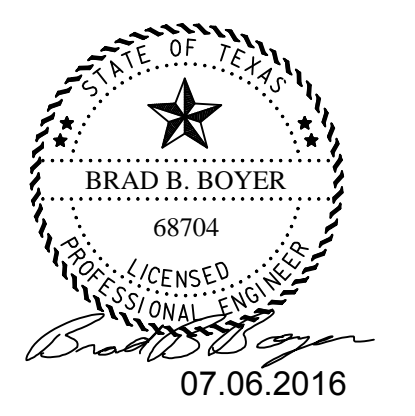
KEY NOTES

- 1. PROVIDE LIGHTING CONTROL STATION. REFER TO LIGHTING CONTROL DIAGRAM ON SHEET E9.00.
- 2. PROVIDE DIMMER PANEL. REFER TO LIGHTING CONTROL DIAGRAM ON SHEET E9.00.
- 3. TYPE C FIXTURES TO BE ATTACHED FROM WALL OR CEILING. REFER TO ARCHITECTURAL DRAWINGS.



**BRAVE / ARCHITECTURE**

4617 Montrose Blvd., Suite C.230  
 Houston, Texas 77006  
 Voice: 713.524.5858  
 Fax: 713.524.5868  
 studio@bravearchitecture.com  
 Contact: Silvana Micolich  
 smicolich@bravearchitecture.com



Consultants:

MEP:  
 Collaborative Engineering Group  
 8904 Fairbanks N. Houston Suite 201  
 Houston, TX 77064  
 T: 281.598.1170  
 F: 281.598.1130



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 Houston, Texas 77064  
 281.598.1170  
 www.collaborative-engr.com  
 Firm No. F12678

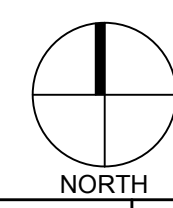
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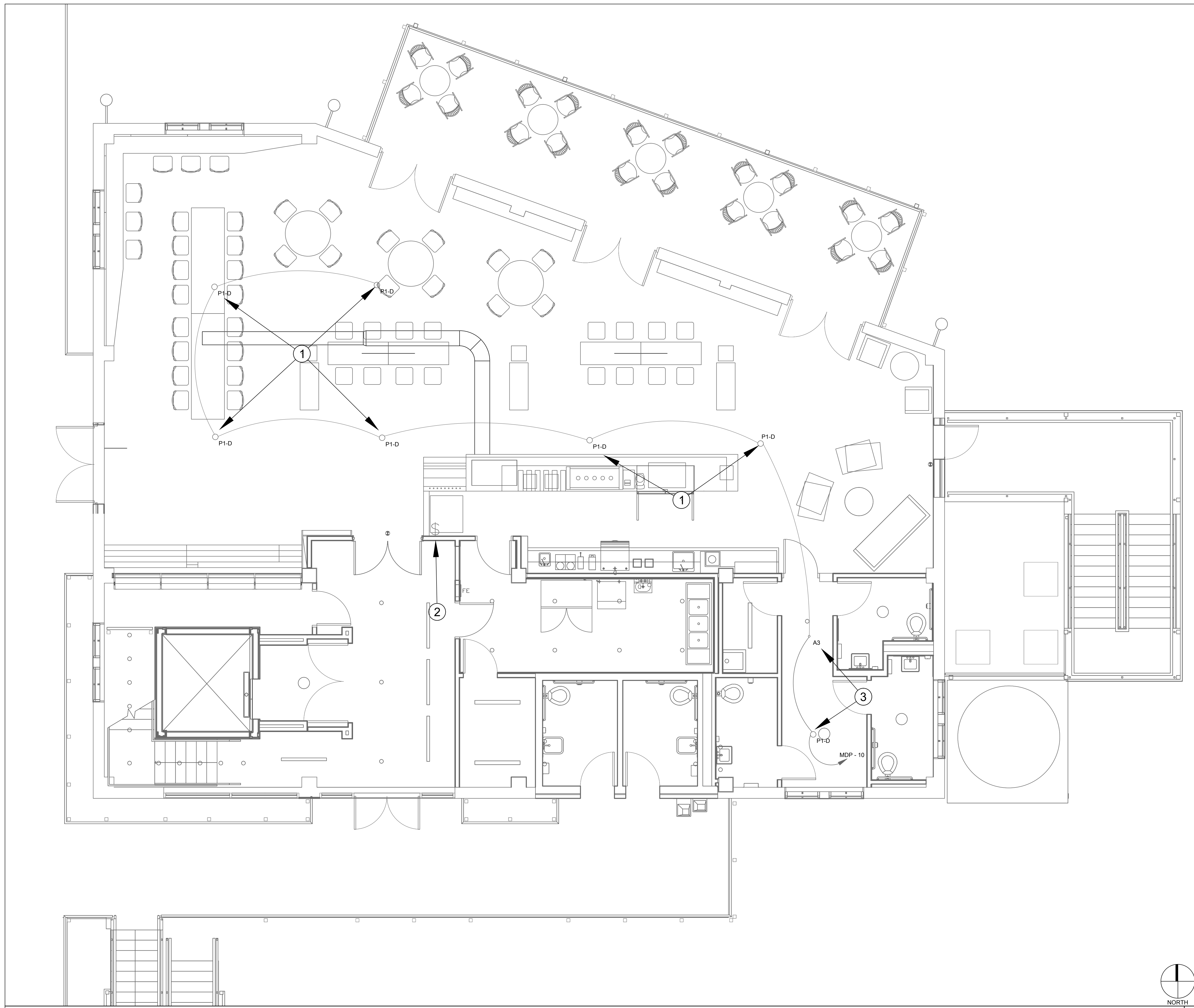


ELECTRICAL LIGHTING FLOOR PLAN

1/4" = 1'- 0" 1

**ELECTRICAL LIGHTING FLOOR PLAN**

**E1.01**



GENERAL NOTES

# KEY NOTES

1. EXISTING FIXTURES TO BE REMOVED.
2. EXISTING DATA LINE SWITCH TO BE REMOVED.
3. EXISTING FIXTURES TO REMAIN.

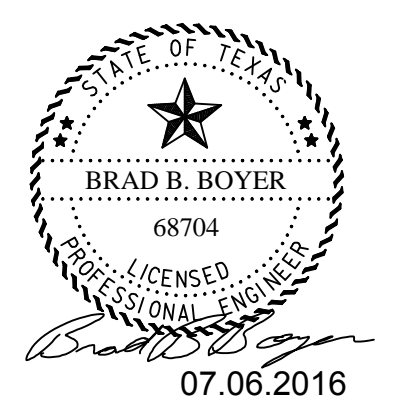
ELECTRICAL LIGHTING DEMOLITION PLAN

1/4" = 1'- 0" 1



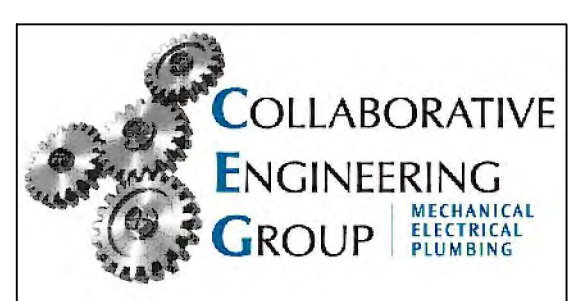
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 Voice: 713.524.5858  
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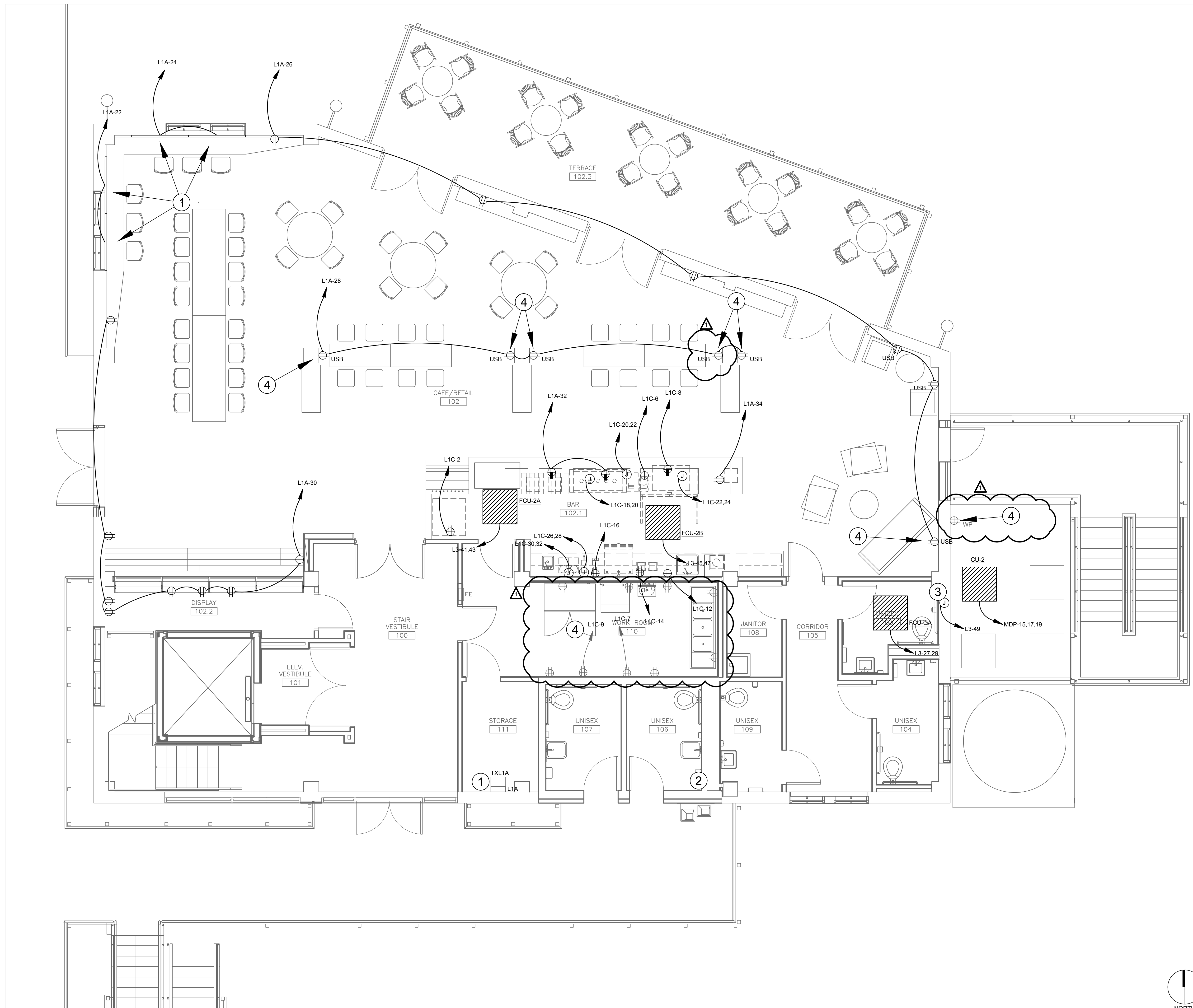
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**ELECTRICAL LIGHTING DEMOLITION PLAN**



GENERAL NOTES

- A. EXISTING FIRE ALARM SYSTEM TO REMAIN. FIRE ALARM DEVICES TO BE MOVED TO ACCOMMODATE NEW CEILING. REFER TO ARCHITECTURAL DRAWINGS.
- B. CONTRACTOR TO VERIFY LOCATION AND MOUNTING HEIGHT OF ALL RECEPTACLES AND J-BOXES.
- C. PROVIDE LOCAL DISCONNECTING MEANS FOR ALL HVAC EQUIPMENT.
- D. OUTLETS MARKED "USB" TO BE HUBBELL USB20X2 OR APPROVED EQUAL.

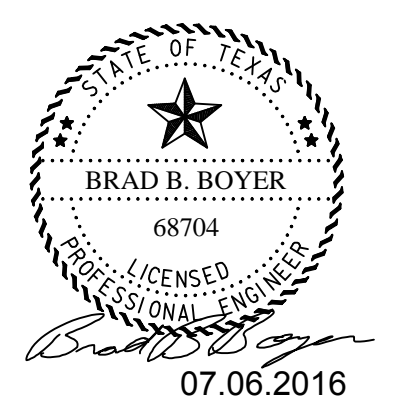
KEY NOTES

- 1. ALTERNATE RECEPTACLE OUTLETS AND USB OUTLETS IN WIREMOLD.
- 2. EXISTING PANEL L1A LOCATED HERE ON FLOOR ABOVE.
- 3. MOTORIZED DAMPER. REFER TO MECHANICAL DRAWINGS.
- 4. EXISTING TO REMAIN. RE-CIRCUIT AND CHANGE DEVICE AS INDICATED. COORDINATE OUTLET LOCATION WITH FURNITURE AND ARCHITECTURAL DRAWINGS.
- 5. EXISTING DEVICE AND CIRCUIT TO REMAIN.



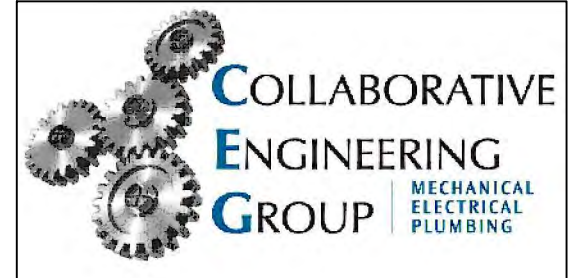
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 Houston, Texas 77064  
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 Firm No. F12678

**SUNSET COFFEE**

1019 Commerce St.  
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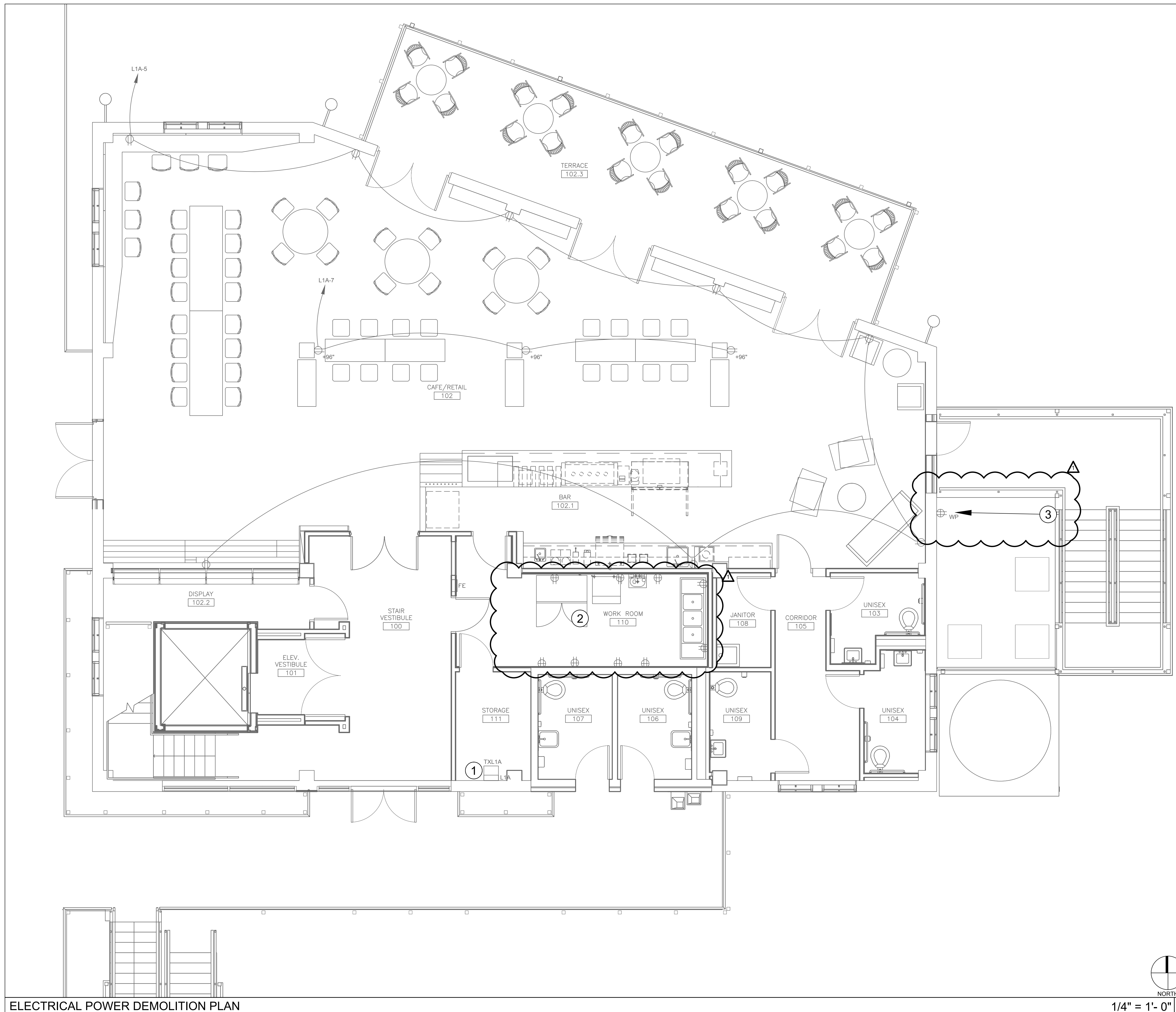
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**ELECTRICAL POWER FLOOR PLAN**





GENERAL NOTES

- A. EXISTING RECEPTACLES AND CIRCUITS TO BE REMOVED, UNLESS OTHERWISE NOTED.
- B. RE-USE CONDUIT AND BOXES WHEN POSSIBLE.

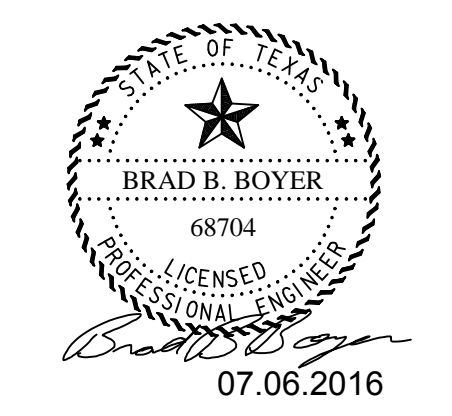
# KEY NOTES

- 1. EXISTING TRANSFORMER AND PANEL L1C TO REMAIN.
- 2. EXISTING RECEPTACLES TO REMAIN IN RM 110.
- 3. EXISTING RECEPTACLE TO REMAIN.



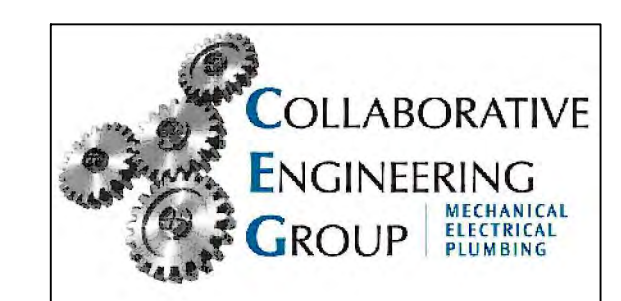
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4617 Montrose Blvd., Suite C.230  
 Houston, Texas 77006  
 Voice: 713.524.5858  
 Fax: 713.524.5868  
 studio@bravearchitecture.com  
 Contact: Silvana Micolich  
 smicolich@bravearchitecture.com



Consultants:

MEP:  
 Collaborative Engineering Group  
 8904 Fairbanks N. Houston Suite 201  
 Houston, TX 77064  
 T: 281.598.1170  
 F: 281.598.1130



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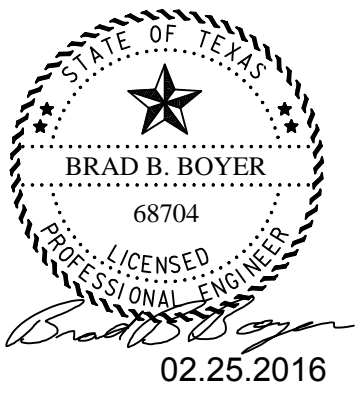
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**ELECTRICAL POWER DEMOLITION PLAN**



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MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130



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Houston, Texas 77064  
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**ELECTRICAL ONE LINE, LOAD ANALYSIS & FAULT ANALYSIS**

SUNSET COFFEE SHOP	SERVICE CALCULATION ADDITION TO EXISTING 277/480V SERVICE				
	Sq Ft	VA	LINE A AMPS	LINE B AMPS	LINE C AMPS
EXISTING LOAD		267951	322	322	322
LIGHTING AT 2 VA @ 125%	2600	6500	8	8	8
NEW LIGHTING @ 3018VA (OMIT)					
RECEPT @ 1VA = 2600 (OMIT)					
NEW RECEPT @ 50%		3300	4	4	4
KITCHEN EQUIPMENT		26950	32	32	32
NEW EQUIPMENT		13891	17	17	17
LARGEST MOTOR @25%		9162	11	11	11
<b>Totals</b>		327754	394	394	394
EXISTING CAPACITY (400A)		332554	400	400	400
SPARE CAPACITY AFTER RENOVATION			6	6	6

\*\*\*SERVICE IS ADEQUATE

SUNSET COFFEE SHOP	XFMR TXL1 LOAD CALCULATION 120/208V					
	Sq Ft	VA	Line A Amps	Line B Amps	Line C Amps	Neutral Amps
Lights & Receptacles						
EXISTING EQUIPMENT		30111	84	84	84	84
GENERAL LIGHTING @ 2VA @125%	2600	6500	18	18	18	18
ACTUAL LIGHTING @ 9646 VA (OMIT)						
RECEPTACLES @ 180VA EA. @50%		3330	9	9	9	9
RECEPTACLES @ 1VA	3950					
EQUIPMENT		500	1	1	1	1
<b>Totals</b>		40441	112	112	112	112
TRANSFORMER CAPACITY - 45KVA		45000	125	125	125	125
REMAINING CAPACITY			12	12	12	12

\*\*\* TRANSFORMER IS ADEQUATE

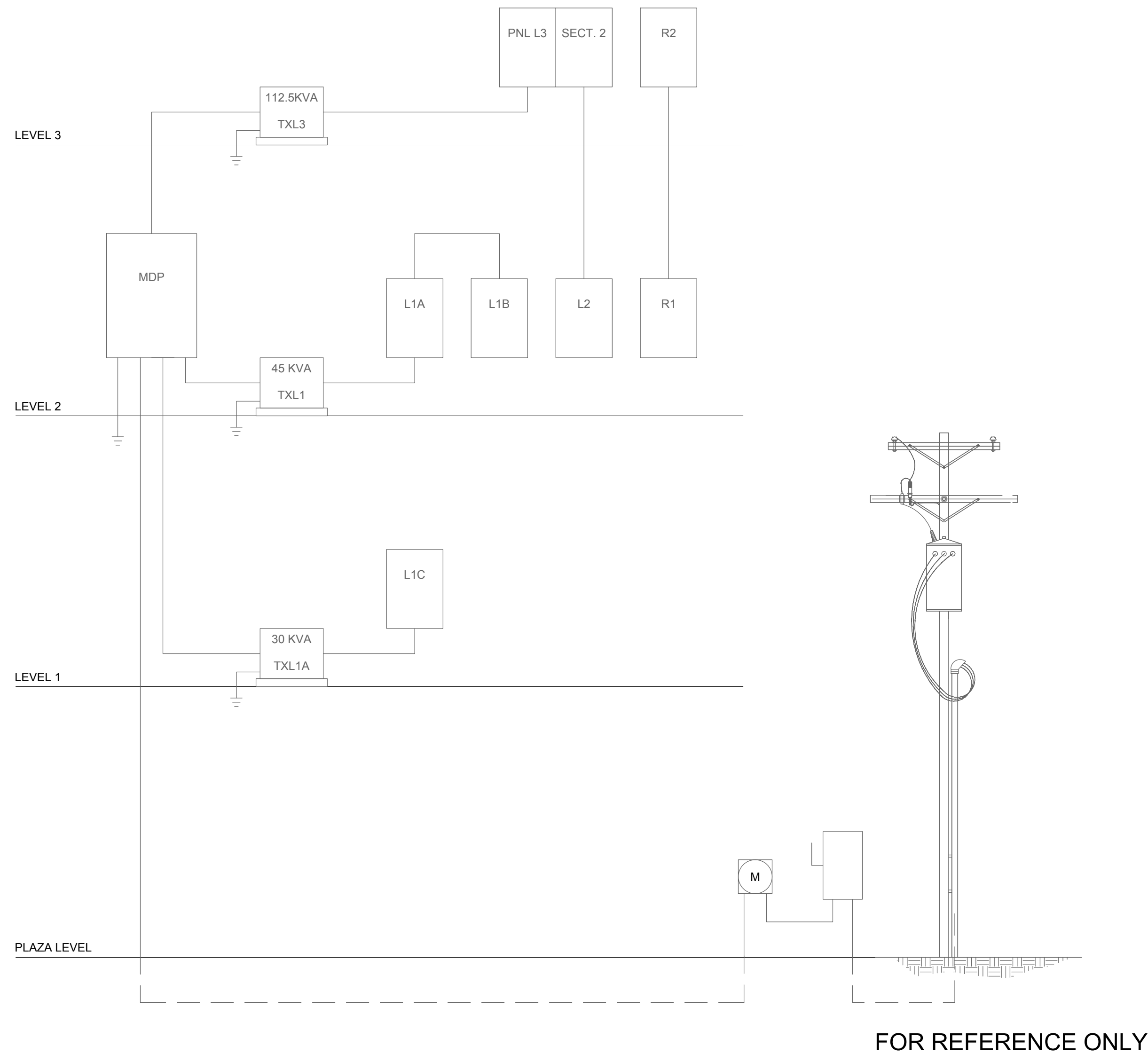
SUNSET COFFEE SHOP	TRANSFORMER TXL1A LOAD CALCULATION					
	Sq Ft	VA	Line A Amps	Line B Amps	Line C Amps	Neutral Amps
Lights & Receptacles						
EXISTING EQUIPMENT		10300	29	29	29	29
Kitchen Loads @ 65% 220.88		13891	39	39	39	39
NEW EQUIPMENT		5580	15	15	15	15
<b>Totals</b>		29771	83	83	83	83
Transformer Capacity - 30KVA		30000	83	83	83	83
Remaining Capacity		230	1	1	1	1

\*\*\* TRANSFORMER IS ADEQUATE

SUNSET COFFEE SHOP	TRANSFORMER TXL3 LOAD CALCULATION 120/208V				
	VA	Line A Amps	Line B Amps	Line C Amps	Neutral Amps
Lights & Receptacles					
EXISTING EQUIPMENT	80437	223	223	223	223
EQUIPMENT	13909	39	39	39	39
FCU - 2A					
FCU - 2B					
FCU - 0A					
CU - 2					
<b>Totals</b>	94346	262	262	262	262
Transformer Capacity - 112.5KVA	112500	312	312	312	312
Remaining Capacity		50	50	50	50

\*\*\* TRANSFORMER IS ADEQUATE

Fault Current Summary		
Location	Voltage	Amps Sym
Utility	480/277	21300
PNL MDP	480/277	14150
PNL L1A	208/120	3100
PNL L1C	208/120	1600
PNL L3	208/120	6250





PANEL L3		120/208 VOLT, 3 PHASE, 4 WIRE										MOUNTED: SURFACE	
		400A MCB EXISTING										KAIC: 10K	
VA	Circuit	WIRE	TRIP AMPS	CCT	LINE A AMPS	LINE B AMPS	LINE C AMPS	CCT	TRIP AMPS	WIRE	Circuit	VA	
180	EXISTING		20	1	1.5	0.7			2	20	EXISTING	80	
180	EXISTING		20	3		1.5	---		4	20	SPARE (EXISTING)		
180	EXISTING		20	5			1.5	1.7	6	20	EXISTING	200	
360	EXISTING		20	7	3.0	---			8	20	SPARE (EXISTING)		
215	EXISTING		20	9		1.8	---		10	20	SPARE (EXISTING)		
2262	EXISTING		20	11			10.9	5.0	12	20	EXISTING	600	
---	SPARE		---	13	10.9	5.3			14	20	EXISTING	634	
---	SPARE		---	15		---	5.2		16	20	EXISTING	629	
---	SPARE		---	17			---	---	18	20	SPARE (EXISTING)		
1946	EXISTING		20	19	9.4	6.5			20	20	EXISTING	781	
---	SPARE		---	21			9.4	4.2	22	20	EXISTING	500	
4660	EXISTING		30	23			22.4	8.3	24	20	EXISTING	1000	
---	SPARE		---	25	22.4	---			26	20	SPARE (EXISTING)		
605	FCU-OA		12	20	27		2.9	8.3	28	20	EXISTING	1000	
---	SPARE		---	29			2.9	8.3	30	20	EXISTING	1000	
8426	EXISTING		12	---	31	40.5	8.3		32	20	EXISTING	1000	
---	SPARE		---	33			40.5	8.3	34	20	EXISTING	1000	
---	SPARE (EXISTING)		20	35			---	8.3	36	20	EXISTING	1000	
---	SPACE		---	37					38	20	SPARE (EXISTING)		
900	EXISTING		20	39			7.5	---	40	20	SPARE (EXISTING)		
500	FCU-2A		12	20	41			2.4	---	42	20	SPARE (EXISTING)	
---	SPARE		---	43	2.4	---			44	20	SPARE (EXISTING)		
500	FCU-2B		12	20	45			2.4	---	46	20	SPARE (EXISTING)	
---	SPARE		---	47			2.4	---	48	20	SPARE (EXISTING)		
180	MOTORIZED DAMPER		12	20	49	1.5	---		50		SPACE		
---	SPACE		---	51			---	---	52		SPACE		
---	SPACE		---	53			---	---	54		SPACE		
---	SPACE		---	55			---	---	56		SPACE		
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---	SPACE		---	75			---	---	76		SPACE		
---	SPACE		---	77			---	---	78		SPACE		
---	SPACE		---	79		143.5			80	225	PNL L2 (EXISTING)	51704	
---	SPACE		---	81			---	143.5	82		---	---	
---	SPACE		---	83			---	143.5	84		---	---	
Total Amps:					256	236	218						

Load Classification	Connected Load	Demand Factors (%)	Estimated Demand	Panel Totals
Equipment	1785	100%	1785	Total Connected Load: 82.2 kVA
Kitchen	0	N/A	0	Total Estimated Demand Load: 102.3 kVA
Lighting	0	N/A	0	Total Connected: 228 A
Receptacles	0	N/A	0	Total Estimated Demand: 284 A
Existing Load	80437	125%	100546.25	

NOTES:

LIGHT FIXTURE SCHEDULE					
TYPE	MFR	QTY-LAMP	VOLTS	MODEL #	DESCRIPTION
A	PHILIPS	3	120	8201BK/6001NBK/7683	TRACK LIGHT (3 HEADS)
A3	LURALINE	1	277	EXISTING	EXISTING COMPACT FLUORESCENT
B	PHILIPS	1	120	LSRXE1/LSR10827/L5RDD	RECESSED LED DOWNLIGHT
C	TECH	1	120	700TDSOCPVXXX / #300BHV480 / 700TDSWGX	PENDANT LIGHT
D	TECH	1	120	700TDSOCPVXXX / #300BHV480 / 700TDSWGX	PENDANT LIGHT
E	TECH	1	120	700WSCFTZ	WALL SCONCE
F	CHLOR	1	120/277	CALIBER SERIES	
H	CWL	6	120	LIGHTING NEW YORK - S 5015AI	LINEAR PENDANT
J	PHILIPS	3	120	8201BK / 6001NBK / 6099BK / PLD240BK / 7683	TRACK LIGHT (3 HEADS)
K	PHILIPS	1	120	700MPROTXS	PENDANT ADJUSTABLE MONOPOINT
L	PHILIPS	2	120	8201BK / 6001NBK / 6099BK / PLD240BK / 7683	TRACK LIGHT (2 HEADS)
P1-D	LURALINE	1	120/277	EXISTING	EXISTING COMPACT FLUORESCENT
X	COOPER	2	277	AEL2-31-XX-SD	ARCHITECTURAL LED EMERGENCY LIGHT

GENERAL NOTES

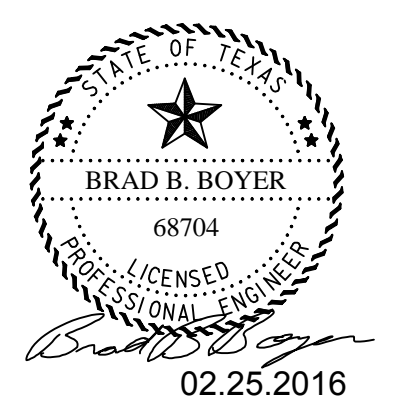
A. CONTRACTOR TO FIELD VERIFY NUMBER AND LOCATION OF EXISTING SPARES.

# KEY NOTES



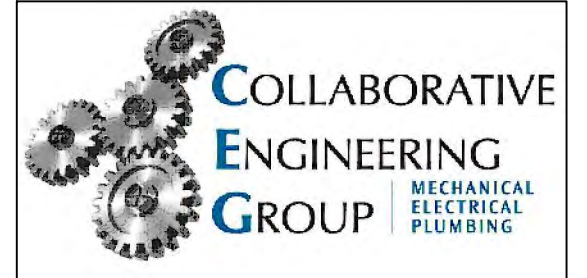
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ELECTRICAL SCHEDULES

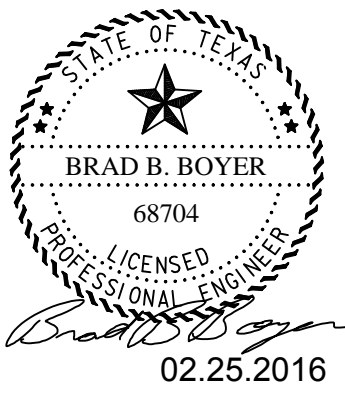
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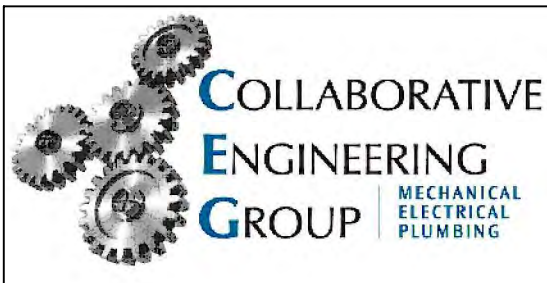
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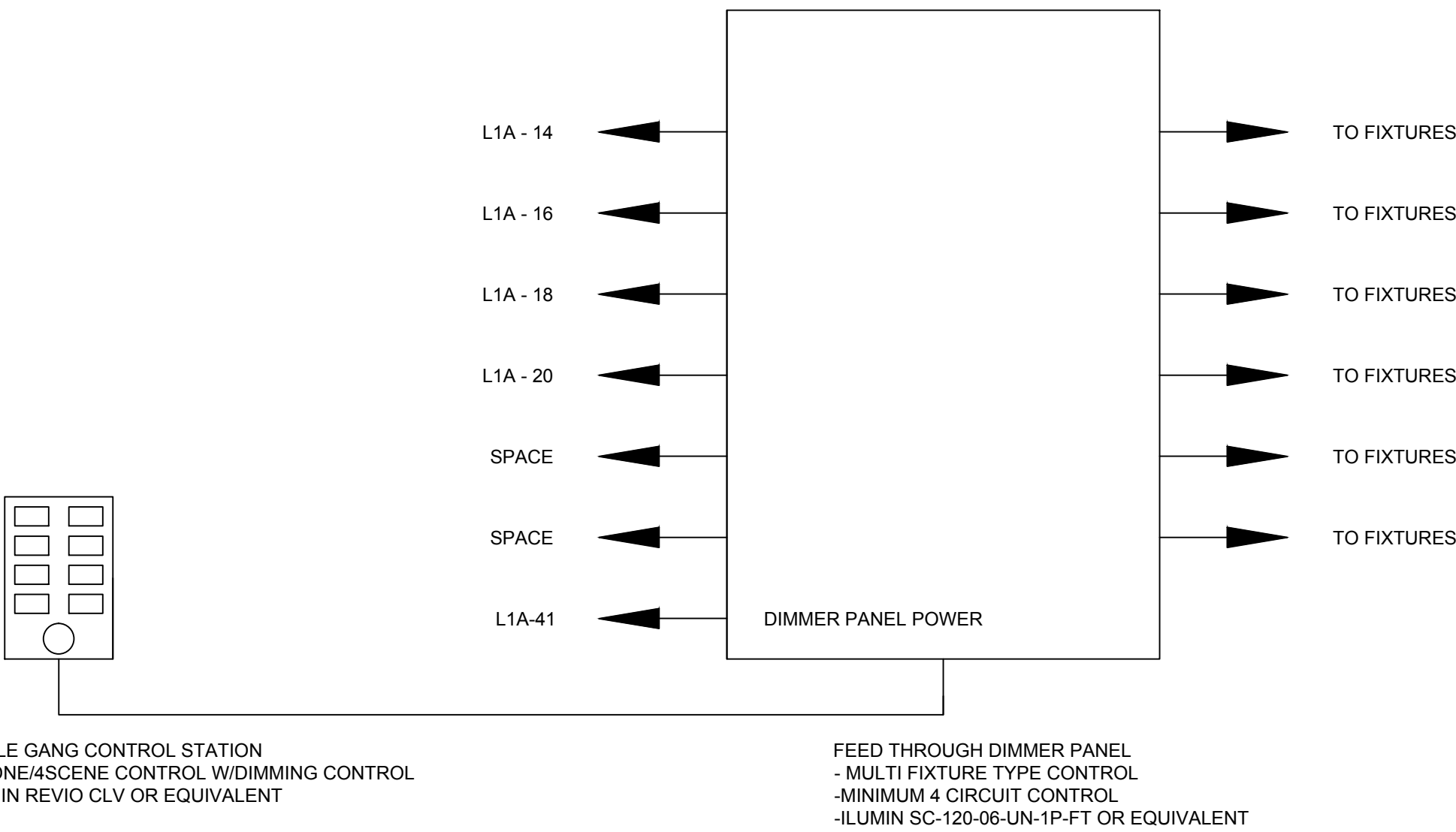
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**ELECTRICAL DETAILS**

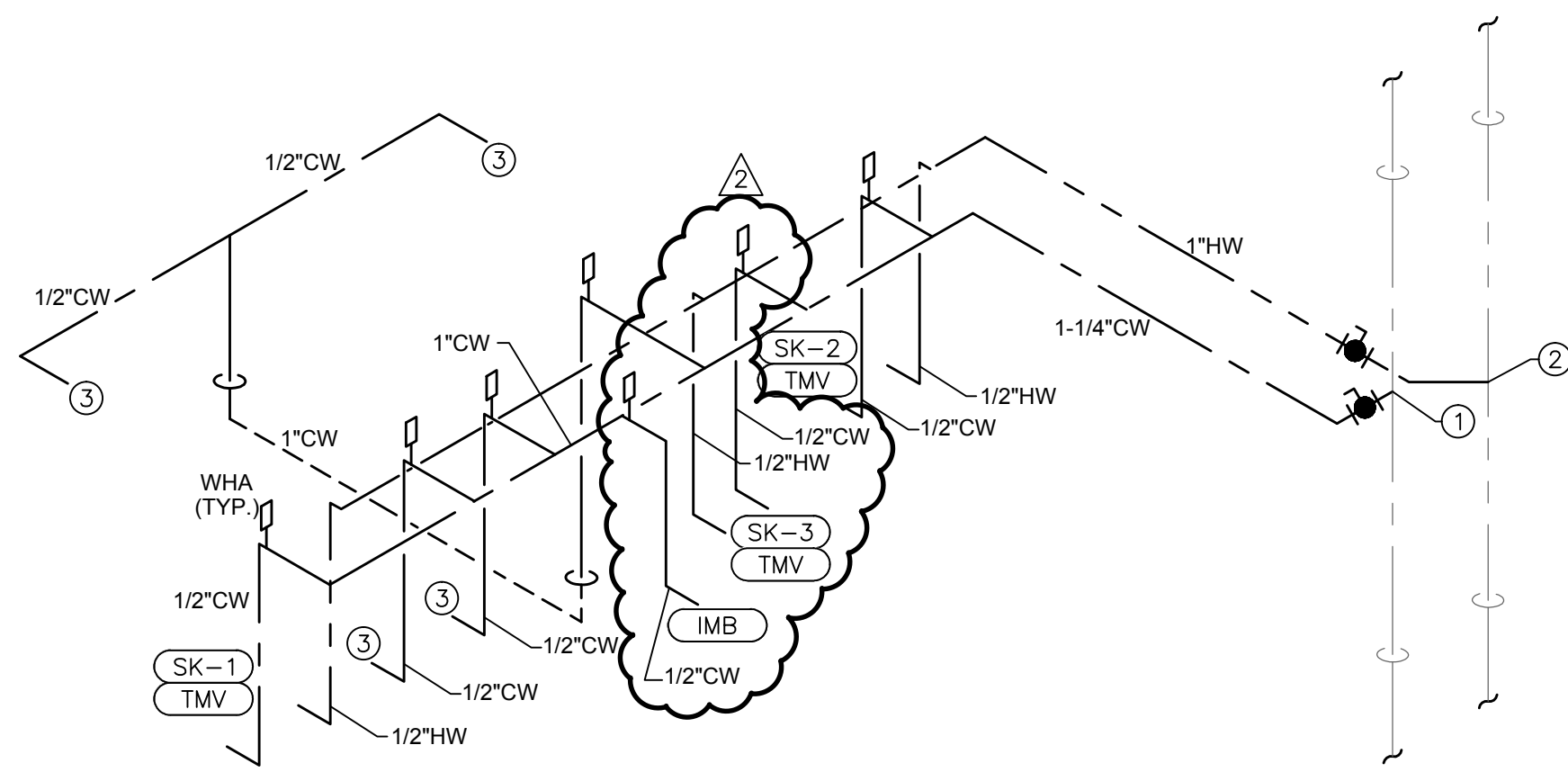
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GENERAL NOTES

# KEY NOTES

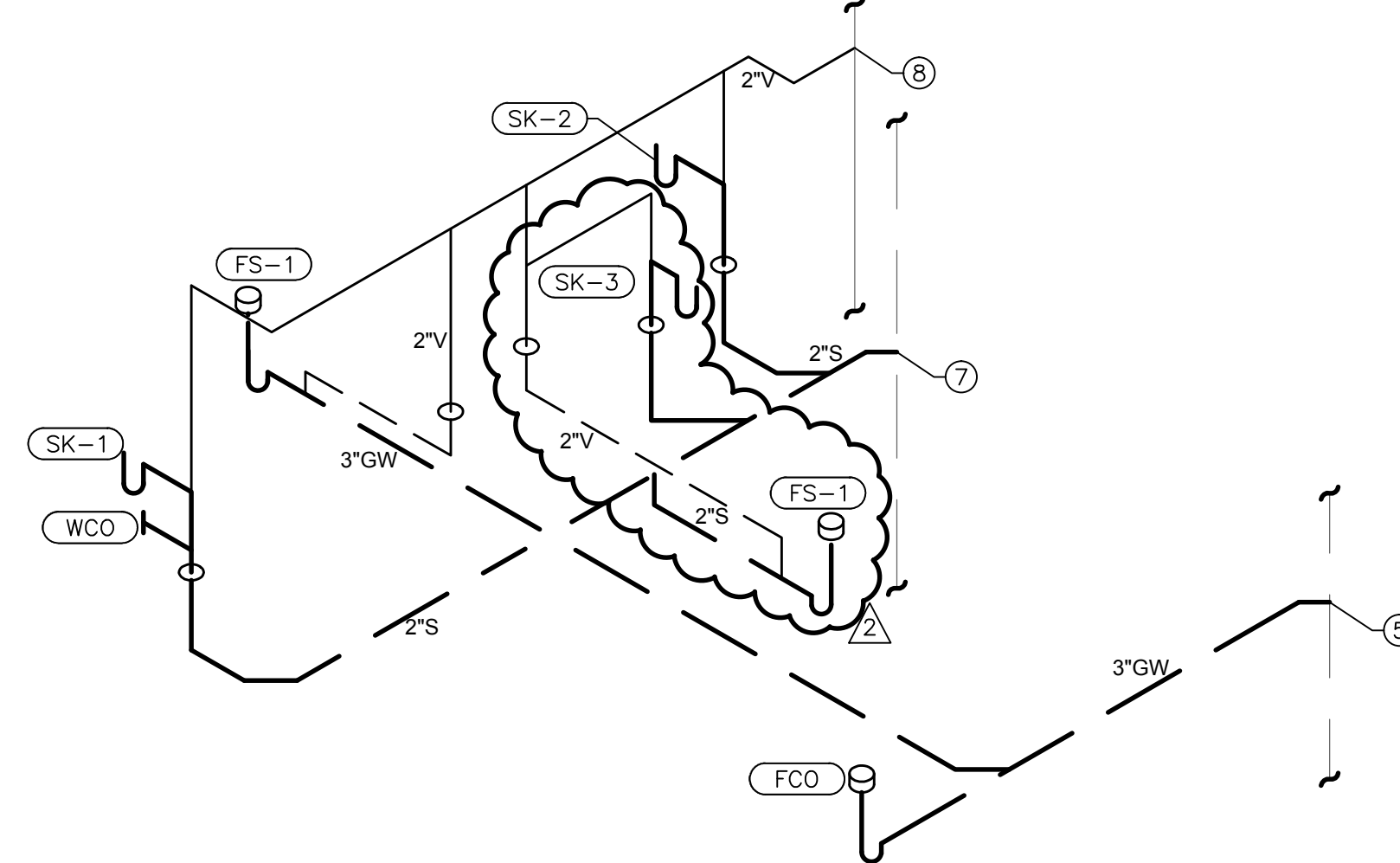






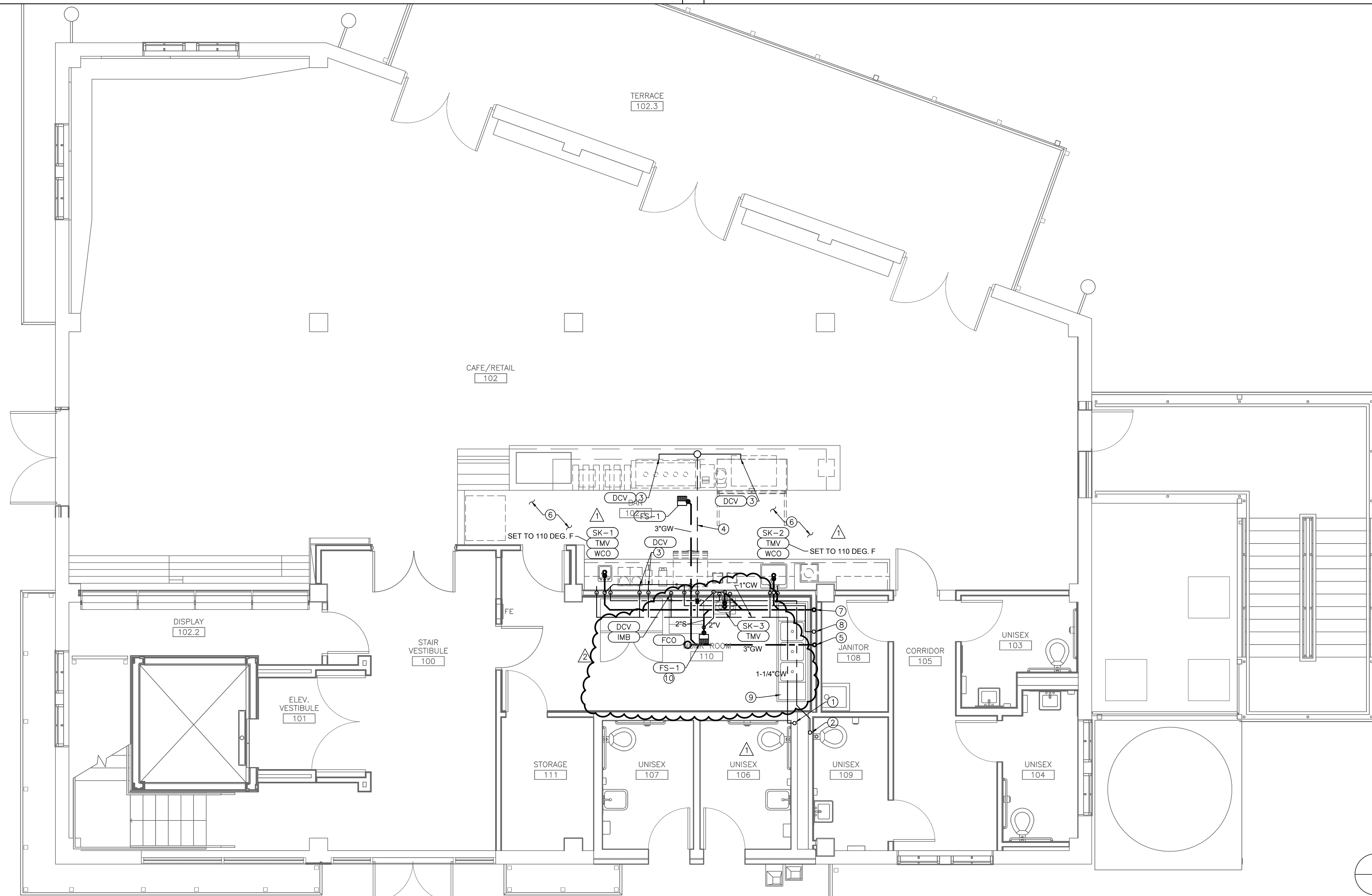
PLUMBING DOMESTIC WATER RISER DIAGRAM

NOT TO SCALE 1



PLUMBING SANITARY RISER DIAGRAM

NOT TO SCALE 2



PLUMBING FLOOR PLAN - FIRST FLOOR

1/4" = 1'-0" 3

GENERAL NOTES

- A. PROVIDE ADD-ALTERNATE COST TO REPLACE EXISTING HOT WATER HEATER ELEMENTS WITH (6) NEW 6KW ELEMENTS. HEATER IS LOCATED IN SECOND FLOOR JANITOR'S CLOSET.

KEY NOTES

- CONNECT TO EXISTING 2" DOMESTIC COLD WATER. PROVIDE ISOLATION VALVE FOR TENANT SHUT-OFF.
- CONNECT TO EXISTING 1" DOMESTIC HOT WATER. PROVIDE ISOLATION VALVE FOR TENANT SHUT-OFF.
- REFER TO BEVERAGE DISPENSER WATER DETAIL FOR CONNECTION TO OWNER-PROVIDED EQUIPMENT
- ROUTE 1" CW PIPING UNDER FLOOR TO UNDER COUNTER.
- CONNECT NEW 3" WASTE TO EXISTING 3" GREASE WASTE RISER IN THIS AREA.
- ADD/RELOCATE SPRINKLER HEADS ABOVE COFFEE SERVICE AREA TO ACCOMMODATE NEW CEILING.
- CONNECT NEW 2" SANITARY TO EXISTING 2" SANITARY RISER.
- CONNECT NEW 2" VENT TO EXISTING 2" VENT RISER.
- 3-COMPARTMENT SINK (15"x15"x12") AND ASSOCIATED FLOOR SINK IS EXISTING TO REMAIN. EXISTING FAUCET IS CAPABLE OF HEATING ALL TOY DISHWASHERS.
- LOCATE FLOOR SINK NEAR ICE MACHINE PER MANUFACTURER'S RECOMMENDATIONS



BRAVE / ARCHITECTURE

4617 Montrose Blvd., Suite C.230  
Houston, Texas 77006  
Voice: 713.524.5858  
Fax: 713.524.5868  
studio@bravearchitecture.com  
Contact: Silvana Micolich  
smicolich@bravearchitecture.com



Consultants:

MEP:

Collaborative Engineering Group  
8904 Fairbanks N. Houston Suite 201  
Houston, TX 77064  
T: 281.598.1170  
F: 281.598.1130



8904 Fairbanks N. Houston, Suite 201  
Houston, Texas 77064  
281.598.1170  
www.collaborative-engr.com  
Firm No. F12678

SUNSET COFFEE

1019 Commerce St.  
Houston, TX 77002

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ISSUE:	DATE:
ISSUE FOR PERMIT	02.25.2016
PERMIT RESPONSES	04.28.2016
PERMIT COMMENTS	07.06.2016

B/A Project No.: 15137  
Drawn By: XX  
Checked By: XX  
Date:  
Scale: AS NOTED

PLUMBING FLOOR PLAN

P1.01